

MEETING — AGENDA —

Ngā Take

www.westernbay.govt.nz



OPERATIONS AND MONITORING COMMITTEE

Komiti Whakahaere



OP13
Thursday, 2 August 2018
Council Chambers
Barkes Corner, Tauranga
9.30am

Notice of Meeting No. OP13 Te Karere

Operations and Monitoring Committee Komiti Whakahaere

Thursday, 2 August 2018
Council Chambers
Barkes Corner
9.30am

His Worship the Mayor

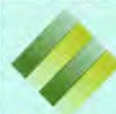
G J Webber

Councillors:

D Thwaites (Chairperson)
J Palmer (Deputy Chairperson)
G Dally
M Dean
M Lally
P Mackay
K Marsh
D Marshall
M Murray-Benge
J Scrimgeour
M Williams

Media
Staff

Miriam Taris
Chief Executive Officer
Western Bay of Plenty District Council



*Western Bay of Plenty
District Council*

Te Kaunihera a rohe mai i nga Kuri-a-Whare ki Otamarakau ki te Uru

www.westernbay.govt.nz



Operations and Monitoring Committee Delegations Mangai o Te Kaunihera

Quorum:

The quorum for this meeting is six members.

Role:

Subject to compliance with Council strategies, policies, plans and legislation:

- To monitor performance and outcomes over all of Council's service functions including the following:
 - Regulatory Operations
 - Roothing Operations
 - Utilities Operations
 - Parks, Reserves, Cemeteries and other council property
 - Customer services, libraries
 - Corporate Property Operations and development
 - Sub Regional Parks
 - Operational service contracts (e.g. swimming pools, community halls)
 - Emergency Management
 - Rural Fire

General Delegations:

- To make decisions to enable and enhance service delivery performance.
- To approve operational policy including resolving operational policy matters defined as the implementation of policy.
- To resolve all operational matters as referred by Community Boards.
- To make decisions in regard to assets to implement Council's plans, policies and projects as contained in the Long Term Plan and Annual Plans.
- To monitor assets and resources required for the delivery of services.
- To monitor the implementation of Council's strategies, plans, policies and projects contained in Council's Long Term Plan and Annual Plans.
- To receive and resolve on or recommend to Council or its Committees as appropriate the reports, recommendations and minutes of the Joint Road Safety Committee and any other Joint Committee, working group or forum as directed by Council.
- To undertake on behalf of Council all processes and actions (including consultation) for the amendment of bylaw schedules relating to operational services precedent to the recommendation to Council for adoption of the amendments.

Financial Delegations:

Pursuant to Section 4(1) of the Public Bodies Contracts Act 1959, the Committee shall have the power to enter into contracts in respect of the Committee's functions to a maximum value of \$5,000,000 for any one contract, provided that the exercise of this power shall be subject to, and within the allocation of funds set aside for that purpose in the Long Term Plan, the Annual Plan and Budget or as otherwise specifically approved by Council.

To report to Council financial outcomes and recommend any changes or variations to allocated budgets.

Other:

The Committee may without confirmation by Council exercise or perform any function, power or duty relating to those matters delegated by Council in like manner, and with the same effect, as the Council could itself have exercised or performed them.

The Committee may delegate any of its functions, duties or powers to a subcommittee subject to the restrictions on its delegations and provided that any sub-delegation to subcommittees includes a statement of purpose and specification of task.

The Committee may make recommendations to Council or its Committees on any matters to achieve the outcomes required in the role of the Committee but outside its delegated authorities.

Agenda for Meeting No. OP13

Pages

**Present
In Attendance
Apologies**

Public Excluded Items

The Council may by resolution require any item of business contained in the public excluded section of the agenda to be dealt with while the public are present.

Public Forum

A period of up to 30 minutes is set aside for a public forum. Members of the public may attend to address the Committee for up to three minutes on items that fall within the delegations of the Committee provided the matters are not subject to legal proceedings, or to a process providing for the hearing of submissions. Speakers may be questioned through the Chairperson by members, but questions must be confined to obtaining information or clarification on matters raised by the speaker. The Chairperson has discretion in regard to time extensions.

Such presentations do not form part of the formal business of the meeting, a brief record will be kept of matters raised during any public forum section of the meeting with matters for action to be referred through the customer contact centre request system, while those requiring further investigation will be referred to the Chief Executive.

- | | | |
|--------|--|------|
| OP13.1 | Seal Extension Programme | 8-16 |
| | Attached is a report from the Transportation Manager dated 16 July 2018. | |
| OP13.2 | Findings on Te Puna Station Road Traffic Trial | |
| | Ann Fosberry – Aurecon and Nigel D’Ath from New Zealand Transport Agency will be in attendance for the presentation. | |

OP13.3	Omokoroa District Sports & Recreation Society Inc. - Building Relocation - Omokoroa Sports Ground	17-38
	Attached is a report from the Reserves and Facilities Manager dated 18 July 2018.	
OP13.4	Possible Construction of Service Centre - Western Avenue Reserve	39-47
	Attached is a report from the Strategic Property Manager dated 17 July 2018.	
OP13.5	Pukehina Surf Rescue Lifeguard Service Lease Area Extension	48-60
	Attached is a report from the Reserves and Facilities Manager dated 6 July 2018.	
OP13.6	Infrastructure Services Briefing - August 2018	61-69
	Attached is a report from the Deputy Chief Executive dated 18 July 2018.	
	The open section of the Operations and Monitoring Committee Information Pack No. OP13 has been circulated separately with the agenda.	

Local Government Official Information and Meetings Act

Exclusion of the Public

Schedule 2A

Recommendation

THAT the public be excluded from the following part of this meeting namely:

- *Te Puke Animal Shelter – In Confidence*
- *Infrastructure Services Briefing – August 2018 - In Confidence*

The general subject to each matter to be considered while the public is excluded, the reason for passing this resolution in relation to each matter, and the specific grounds under Section 48(1) of the Local Government Official Information and Meetings Act 1987 for the passing of this resolution are as follows:

<i>General subject of each matter to be considered</i>	<i>Reason for passing this resolution in relation to each matter</i>	<i>Ground(s) under Section 48(1) for the passing of this resolution</i>
<i>Te Puke Animal Shelter – 18 July 2018 - In Confidence</i>	<i>THAT the public conduct of the relevant part of the proceedings of the meeting would likely result in the disclosure of information for which good reason for withholding would exist.</i>	<i>To enable the Council to carry on without prejudice or disadvantage, negotiations (including commercial and industrial negotiations)</i>
<i>Infrastructure Services Briefing – August 2018 – In Confidence</i>	<i>THAT the public conduct of the relevant part of the proceedings of the meeting would likely result in the disclosure of information for which good reason for withholding would exist.</i>	<i>For reasons previously stated on the relevant minutes.</i>

Western Bay of Plenty District Council

Operations & Monitoring Committee

Seal Extension Programme

Purpose

With reference to the report and discussion at the 21 June 2018 meeting and Resolution OP12.4. **Attachment A**

The Chairman along with the CEO and Deputy CEO attended a recent meeting with residents of Reid Road. They raised the question of the priority order of the seal extension programme and how it has changed. The change was due to:

- a) The policy criteria change which reprioritised roads and
- b) That roads of a lower priority were sealed earlier for efficiency.

The Committee is requested to discuss whether the seal extension delivery programme matches as close as possible the priority order determined by the policy criteria.

Recommendation

- 1. THAT the Deputy Chief Executive's report dated 16 July 2018 and Seal Extension Programme 3 be received.**
- 2. THAT the Seal Extension Construction Programme be undertaken as far as practical in the priority order as determined by the Policy.**
- 3. THAT the report relates to an issue that is not considered significant in terms of Council's policy on Significance.**



Jim Paterson
Transportation Manager



Approved

Gary Allis
Deputy Chief Executive

1. Background

The Seal Extension Programme as adopted and as determined by the Policy criteria is attached. **Attachment B**

The table shows the road sections listed in priority order, the current phase (design, consenting etc.) and the construction date if complete.

The table shows the estimated cost for each section, the total cost to complete the list and the budget. **Attachments C & D**

Note: These are in potential delivery order and not priority order as per the Policy. Subject to the decision, these will be reordered.

Estimated Construction Cost:	\$8,458,000
Budget 3 years of LTP:	\$3,359,000

Potential Additional Funding

- NZTA subsidy under the 2019 – 2021 Low Cost Low Risk Category. This is currently under review but has the potential to provide significant funding.
- NZTA Minor Improvement Programme supplementary claim 2017/18. Mainly for seal extension related items and will be added into the seal extension budget.
- Council surpluses. Council if it generates a surplus may resolve to apply it to seal extensions.
- Loan funding, repaid over time to accelerate the programme.

2. Significance and Engagement

The Local Government Act 2002 requires a formal assessment of the significance of matters and decisions in this report against Council's Significance and Engagement Policy. In making this formal assessment there is no intention to assess the importance of this item to individuals, groups, or agencies within the community and it is acknowledged that all reports have a high degree of importance to those affected by Council decisions.

The Policy requires Council and its communities to identify the degree of significance attached to particular issues, proposals, assets, decisions, and activities.

In terms of the Significance and Engagement Policy this decision is considered to be of low significance.

3. Engagement, Consultation and Communication

Interested/Affected Parties	Completed/Planned Engagement/Consultation/Communication
General Public and all Residents affected	The decision and the updated priority order and timing will need to be clearly communicated via website and directly to residents of the roads on the programme.

4. Issues and Options Assessment

Option A	
<i>THAT the Operations and Monitoring Committee adopts the resolution that the Seal Extension Construction Programme be undertaken as far as practical in the priority order as determined by the Policy.</i>	
Assessment of option for advantages and disadvantages taking a sustainable approach	Advantages: Continue with planned delivery to meet Council's objectives.
Costs (including present and future costs, direct, indirect and contingent costs) and cost effectiveness for households and businesses	Nil at this stage
Option B	
<i>THAT the Operations and Monitoring Committee do not adopt the resolution that the Seal Extension Construction Programme be undertaken as far as practical in the priority order as determined by the Policy and retain the status quo.</i>	
Assessment of option for advantages and disadvantages taking a sustainable approach	Disadvantages: The programme delivery would be delayed by specific sites that present delivery difficulties.
Costs (including present and future costs, direct, indirect and contingent costs) and cost effectiveness for households and businesses	Nil

5. Statutory Compliance

This report meets all statutory and legal requirements.

6. Funding/Budget Implications

Budget Funding Information	Relevant Detail
N/A	Nil at this stage. However, low cost / low risk co-investment funding for seal extension works in the 2019-2021 National Land Transport Programme has been applied for.

Minute Action Sheet

To:	DEPUTY CEO/GROUP MANAGER INFRASTRUCTURE SERVICES
Copies To:	TRANSPORTATION MANAGER ROADING ENGINEER (EAST WEST) EXECUTIVE ASSISTANT INFRASTRUCTURE SERVICES
From:	DEMOCRACY ADVISOR

On 21 Jun 2018 the Operations Committee met and resolved the following:

OP12.4 Seal Extension Programme Delivery June 2018

The Operations and Monitoring Committee considered a report from the Transportation Manager dated 17 May 2018 as circulated with the agenda.

The Deputy Chief Executive Officer spoke to the report presented to the Committee to determine their view to implement the existing seal extension programme in accordance with Council's policy and the adopted programme or consider individual requests for road sealing as/when they were presented. The current approach of Council was to review a proposed seal site then generally implement Policy and advise that the requested extensions do not comply, and decline unless considered beneficial. Recommendations were made to the Committee where there were benefits. Requests for seal length extensions were for Rangiora Road, Maniatutu Road and Pongakawa Bush Road had been received.

The Committee agreed that sealing should be done in the most practical order noting that advancing some sections of the priority of unsealed roads would adversely affect the delivery of higher priority sites and would make it difficult to defend the existing seal extension policy. The policy was developed with criteria that was measurable, transparent and provided staff with the necessary direction for its impartial application.

The Deputy Chief Executive advised that there would be the opportunity to re-look at the programme when new financial year funding was confirmed and when the availability of New Zealand Transport Agency subsidy funding was advised. There was also an opportunity to reconsider the re-seal programme within the annual plan process.

Resolved: Mayor Webber / Dean

1. *THAT the Transportation Manager's report dated 17 May 2018 and titled Seal Extension Programme Delivery be received.*
2. *THAT the report relates to an issue that is considered to be of low significance in terms of Council's Significance and Engagement Policy.*
3. *THAT staff implement the existing seal extension programme in accordance with the policy and the adopted programme.*

CITIZENSHIP

10.45am

The meeting adjourned for morning tea.

11.06am

The meeting reconvened. Councillor Marsh was not present.

WBOPDC Seal Extension List July 2016					
Priority	Road Name	Start (m)	End (m)	Length (m)	Progress
1	WRIGHT ROAD	6286	8465	2179	Completed with Aongatete Road
2	MANIATUTU ROAD	12686	16100	3414	Under construction
3	ROYDON DOWNS ROAD	4047	6835	2788	
4	LEYLAND ROAD	780	1100	320	Completed
5	ALLPORT ROAD	6106	7180	1074	
6	SOLDIERS ROAD	2050	4735	2685	
7	TAUMATA ROAD	2251	3002	751	Completed
8	ROWE ROAD	3691	4130	439	Under construction
9	THOMPSONS TRACK	2792	3660	868	
10	BILLING ROAD	1248	2331	1083	Completed
11	MARTHA LANE	0	323	323	Completed
12	MOUNTAIN ROAD	4283	6800	2517	
13	REID ROAD	3532	4986	1454	
14	PONGAKAWA BUSH ROAD	8006	9400	1394	
15	KAITEMAKO ROAD SOUTH	0	350	350	
16	VALLEY VIEW ROAD	114	599	485	
17	WAERENGA ROAD	0	1390	1390	Completed
18	SHARP ROAD	2686	3310	624	Completed
19	WILLIAMS ROAD NORTH	1166	2325	1159	
19	ALLEY ROAD	106	1495	1389	Completed
20	WAIPA ROAD	0	405	405	Completed
21	RANGIURU ROAD	11425	12301	876	Completed
22	TIROHANGA ROAD	0	1610	1610	
23	BELK ROAD	6687	7345	658	Completed
Note :	The construction timing for each road may be influenced by factors such as the grouping of sites, landowner agreements, extent of earthworks and delivery co-ordination to maximise the investment.				

WBOPDC Seal Extension Delivery Plan as at 10 July 2018

Road Name	Start (m)	End (m)	Length (m)	Current Phase	Indicative Timing	Construction	Completion Date
ALLEY ROAD	106	1495	1389		Completed		13 January 2017
BELK ROAD	6687	7345	658		Completed		31 January 2017
BILLING ROAD	1248	2331	1083		Completed		1 December 2017
JUNCTION ROAD	473	2638	2165		Completed		17 October 2017
LEYLAND ROAD	780	1100	320		Completed		23 September 2016
MARTHA LANE	0	323	323		Completed		23 December 2016
MATAKANA ROAD	2490	4150	1660		Completed		21 April 2018
RANGIURU ROAD	11425	12301	876		Completed	May-18	28 May 2018
SHARP ROAD	2686	3310	624		Completed		18 March 2017
TAUMATA ROAD	2251	3002	751		Completed		31 January 2018
WAERENGA ROAD	0	1390	1390		Completed		30 June 2018
WAIPA ROAD	0	405	405		Completed		1 June 2018
WRIGHT ROAD	6286	8465	2179		Completed		30 June 2018
KAITEMAKO ROAD SOUTH	0	350	350	Design Review	2018/19	Sep-18	
MANIATUTU ROAD	12686	16100	3414	Design review	2018/19	Sep-18	
ROWE ROAD	3691	4130	439	Construction	2018/19	Jun-18	
THOMPSONS TRACK	2792	3660	868	Design review	2018/19		
ALLPORT ROAD	6106	7180	1074	Design review	2019/20		
ROYDON DOWNS ROAD	4047	6835	2788	Design review	2019/20		
MOUNTAIN ROAD	4283	6800	2517	In design	2020/21		
PONGAKAWA BUSH ROAD	8006	9400	1394	Design review	2020/21		
REID ROAD	3532	4986	1454	In design	2021/22		
SOLDIERS ROAD	2050	4735	2685	In design	2021/22		
TIROHANGA ROAD	0	1610	1610	In design	2021/22		
VALLEY VIEW ROAD	114	599	485	In design	2021/22		
WILLIAMS ROAD NORTH	1166	2325	1159	Design Review	2021/22		

ROAD NAME	18/19	19/20	20/21	2019-21 Totals
Project Scoping (incl. Road width survey, arch checks & shape & seal prelim designs)				
KAITEMAKO RD SEAL EXTENSION - SHAPE & SEAL	124,860			
MANIATUTU RD SEAL EXTENSION	1,467,017			
ROWE ROAD SEAL EXTENSION	330,401			
THOMPSONS TRACK SEAL EXTENSION	395,871			
ALLPORT ROAD SEAL EXTENSION		415,622		
ROYDON DOWNS ROAD SEAL EXTENSION		1,279,073		
MOUNTAIN ROAD SEAL EXTENSION & WIDENING			996,127	
PONGAKAWA BUSH ROAD SEAL EXTENSION			633,006	
REID ROAD SEAL EXTENSION			660,267	
SOLDIERS ROAD SEAL EXTENSION & SHAPE & SEAL			988,857	
TIROHANGA RD SEAL EXTENSION - SHAPE & SEAL			693,914	
VALLEY VIEW ROAD SEAL EXTENSION & SHAPE AND SEAL			156,274	
WILLIAMS ROAD NTH SEAL EXTENSION & SEAL WIDENING			317,330	
TOTAL	2,318,150	1,694,695	4,445,775	8,458,619
Seal Extension Budget (Roding Rates)	1,091,000	1,119,000	1,149,000	3,359,000

Western Bay of Plenty District Council
Operations & Monitoring Committee
Omokoroa District Sport & Recreation Society
Incorporated Building Relocation and Lease
Extension on Omokoroa Sports Ground

Purpose

To consider a request from the Omokoroa District Sport and Recreation Society Incorporated to erect a new pavilion at Omokoroa Sportsground, Omokoroa.

The Operations and Monitoring Committee is required to pass a resolution of its intent to enter into an extended and relocated lease area for the proposed new pavilion prior to undertaking a one month period of public consultation, followed by hearings for any submissions or objections.

Representatives from the Omokoroa District Sport and Recreation Society Incorporated will be present at the Committee meeting to answer any queries that the committee may have.

Recommendation

- 1. THAT the Reserves and Facilities Manager's report dated 18 July 2018 and titled Omokoroa District Sport and Recreation Society Incorporated building relocation and lease extension on Omokoroa Sportsground be received.**
 - 2. THAT the Operations and Monitoring Committee approves/does not approve in principle to a lease variation to relocate and extend the existing lease area on the Omokoroa Sportsground, being Part Lot 1 on DPS 27322, by 350m² and approve in principle the building of a new facility.**
 - 3. THAT If approval in principle is given, such approval must not be construed by the applicant, as a guarantee that all other consents required by any policy, by-law, regulation or statute, will be forthcoming. The applicant is responsible for obtaining all required consents at its own cost.**
- AND**
- 4. If approval in principle is given, that staff be directed to publicly notify the proposal in terms of Section 119 of the Reserves Act 1977.**
 - 5. THAT the report relates to an issue that is not considered significant in terms of Council's policy on Significance.**

Date: 18 July 2018

Open Session

Subject: Omokoroa District Sport & Recreation Society Incorporated Lease
Building Extension on Relocation and Omokoroa Sports Ground



Peter Watson
Reserves and Facilities Manager



Approved

Gary Allis
Group Manager Engineering Services

Minute Action Sheet	Position Code
For Action	LPOR
For Info	RFM
For Info	GM1
For Info	PAE

1. Background

The Omokoroa District Sport and Recreation Society Incorporated are wishing to build a new pavilion. The Society has outgrown their current facility which is old and is no longer fit for purpose.

The Omokoroa District Sport and Recreation Society Incorporated leases an area of 199.6m² of reserve from the Western Bay of Plenty District Council at Omokoroa Sports Ground (2016-2031).

The proposed new pavilion will occupy an area of approximately 550m² which equates to an increase of 350m² over the current lease area.

A copy of the new pavilion concept plans are attached.

Attachment A

The new pavilion will allow the Society to cater for current and future demand and allow better utilisation of the building by the Society's membership and other community groups.

The Society has advanced their proposal to the point of finalising design details before applying for relevant consents.

Resolving the requirements for a relocated and extended lease area forms part of their due diligence.

To date, the Society has been successful in obtaining over a million dollars towards the projected project cost of \$1.6m. The funding obtained includes two significant grants of \$400,000 from TECT and Lotteries. The community to date have raised approximately \$146,000, which when combined with \$100,000 grant from the Omokoroa Community Board and Council's contribution towards publically accessible toilets, sees a shortfall of over \$400,000 which may be underwritten by a philanthropist.

These expansions are being undertaken to make the facilities fit for purpose in response to the growing population.

Council as land owner and service provider, will incorporate upgraded/new toilets within the design of the proposed new pavilion.

2. Significance and Engagement

The Local Government Act 2002 requires a formal assessment of the significance of matters and decisions in this report against Council's Significance and Engagement Policy. In making this formal assessment there is no intention to assess the importance of this item to individuals, groups, or agencies within the community and it is acknowledged that all reports have a high degree of importance to those affected by Council decisions.

The Policy requires Council and its communities to identify the degree of significance attached to particular issues, proposals, assets, decisions, and activities.

In terms of the Significance and Engagement Policy this decision is considered to be of low significance.

3. Engagement, Consultation and Communication

Interested/Affected Parties	Completed/Planned Engagement/Consultation/Communication
Tangata Whenua	Local iwi will be contacted for comment.
Adjoining Property Owners	A letter will be sent to adjoining property owners.
General Public	If Council agree to the proposal to extend the lease area, then there will be a requirement to undertake a one month statutory period of public consultation as required under Section 119 of the Reserves Act 1977.

4. Issues and Options Assessment

Option A	
<i>THAT the Operations and Monitoring Committee APPROVES in principle to a lease variation to relocate and extend the existing lease area on the Omokoroa Sportsground, being Part Lot 1 on DPS 27322, by 350m² and approve in principle the building of a new pavilion.</i>	
Assessment of option for advantages and disadvantages taking a sustainable approach	Advantages: <ul style="list-style-type: none"> Investment is made by the club into upgraded facilities Improved functionality of the building including the public toilets Improved security around the building Building work contributes to local economy Provides capacity for growth at Omokoroa
Costs (including present and future costs, direct, indirect and contingent costs) and cost effectiveness for households and businesses	<ul style="list-style-type: none"> All costs involved with varying the club's lease are to be met by the club The club's rental would be increased due to the increased area the building would occupy

Option B	
<i>THAT the Operations and Monitoring Committee DOES NOT APPROVE does not approve in principle to a lease variation to relocate and extend the existing lease area on the Omokoroa Sportsground, being Part Lot 1 on DPS 27322, by 350m² and approve in principle the building of a new pavilion.</i>	
Assessment of option for advantages and disadvantages taking a sustainable approach	Disadvantages: <ul style="list-style-type: none"> • Improved facilities would not be realised • Security issues would remain • Local economy not supported
Costs (including present and future costs, direct, indirect and contingent costs) and cost effectiveness for households and businesses	<ul style="list-style-type: none"> • The club would not incur any costs.

5. Statutory Compliance

Reserves Act 1977 - Public consultation will be required under Section 119 of the Reserves Act 1977.

Following the completion of the statutory one month period of public consultation, a further report will be prepared for Council, in it's capacity as the administering body for the reserve, who will hear submissions for objection before making a formal decision on whether or not to extend the lease area.

Omokoroa Sports Ground Reserve Management Plan - The Lease area and Clubrooms already exist and are shown notated on the Omokoroa Sportsground Concept Plan (**Attachment B**).

Building Act 2004 - A Building Consent will be required for any building work.

6. Policy 3 - Buildings and Structures

Buildings on reserves will be for sporting and recreation purposes and/or to facilitate the appropriate use of the reserve by the public.

Any potential adverse effects of buildings and structures (whether located on or adjacent to reserve land) on the amenity values and physical features of the reserve and on neighbouring properties should be avoided, remedied or mitigated.

In proposing to locate a new building on a reserve (by Council or by others), or when considering proposals for the extension of an existing building, or when

considering the effects of a proposed building on land adjacent to a reserve, the following shall be taken into regard, as per the Reserve Management Plan.

The need for the building to be located on reserve land.

The building will service users of the Omokoroa Sports Ground and hard courts

The scale of the proposed structure in relation to the reserve and its foreseeable use.

The building size is appropriate for the size of the reserve which contains a number of sportsfields, tennis courts and a skatepath facility.

The foreseeable need and demand for the recreation facilities to be accommodated.

Omokoroa is a recognised growth area under SmartGrowth with a number of new subdivisions underway. The current facility is no longer fit for purpose and will not meet future demand.

Proposals for joint use of the facility.

The facility incorporates open space available for community use. The facility will include publicly accessible toilets and is available for other community use.

The siting, design, materials and colour of the proposed building or structure.

The siting and design take advantage of the existing embankment, which allows for a basement area including public toilets, changing rooms and storage that are accessible from the bottom of the bank, whereas the top story allows for access direct into the top sports fields and views over the tennis courts.

The design and development of buildings and structures are energy and water efficient and storm water is managed affectively.

The building will utilise modern building materials and take advantage of the sun light through large windows.

The financial position of the applicant to properly construct and maintain the facility, and ongoing associated costs.

The Society have successfully raised most of the funding required for the construction phase. The lease with require that all funding is in place prior to construction commencing.

The new pavilion, along with growth in Omokoroa will help ensure membership numbers increase and support the financial ability of the Society going forward.

The conservation of open space, views, significant vegetation and significant landscape features.

Two existing large trees will need to be removed in order to accommodate the new pavilion. The sports ground is a large reserve, which helps to keep the building in scale. The building being placed on the embankment also allows it to fit well into the environment.

The effects of providing access to and parking for the proposed building or structure.

Access is available to both the upper and lower parts of the building. Existing parking is available.

The potential visual or physical effects of the building or structure on neighbouring properties.

The nearest adjoining dwelling is located behind a hedge. The pavilion is central in the reserve and is a distance from any adjoining dwellings.

Where Council determines to approve the location of any building or structure (shipping container) on reserve land, the applicant will be responsible for obtaining all necessary resource and building consents before any work commences on site. In addition the applicant must comply with all bylaws, regulations and statutes pertaining to the construction and operation of the building or structure.

The consent of the Minister of Conservation will be required before any building or structure is constructed on a reserve in situations where leases over scenic or recreation reserves allow for erection of buildings and structures.

Explanation

Buildings and structures include facilities such as toilets, changing rooms, club rooms, bridges, viewing platforms or lookouts and the like. Buildings and structures are necessary to facilitate public use of reserves.

They can, however, also reduce the open space character and amenity of reserves and need to be carefully sited and designed to complement the reserve.

Buildings and structures also represent significant investment and require ongoing maintenance. Duplication of such facilities should be avoided with joint use, management and funding promoted.

7. Funding/Budget Implications

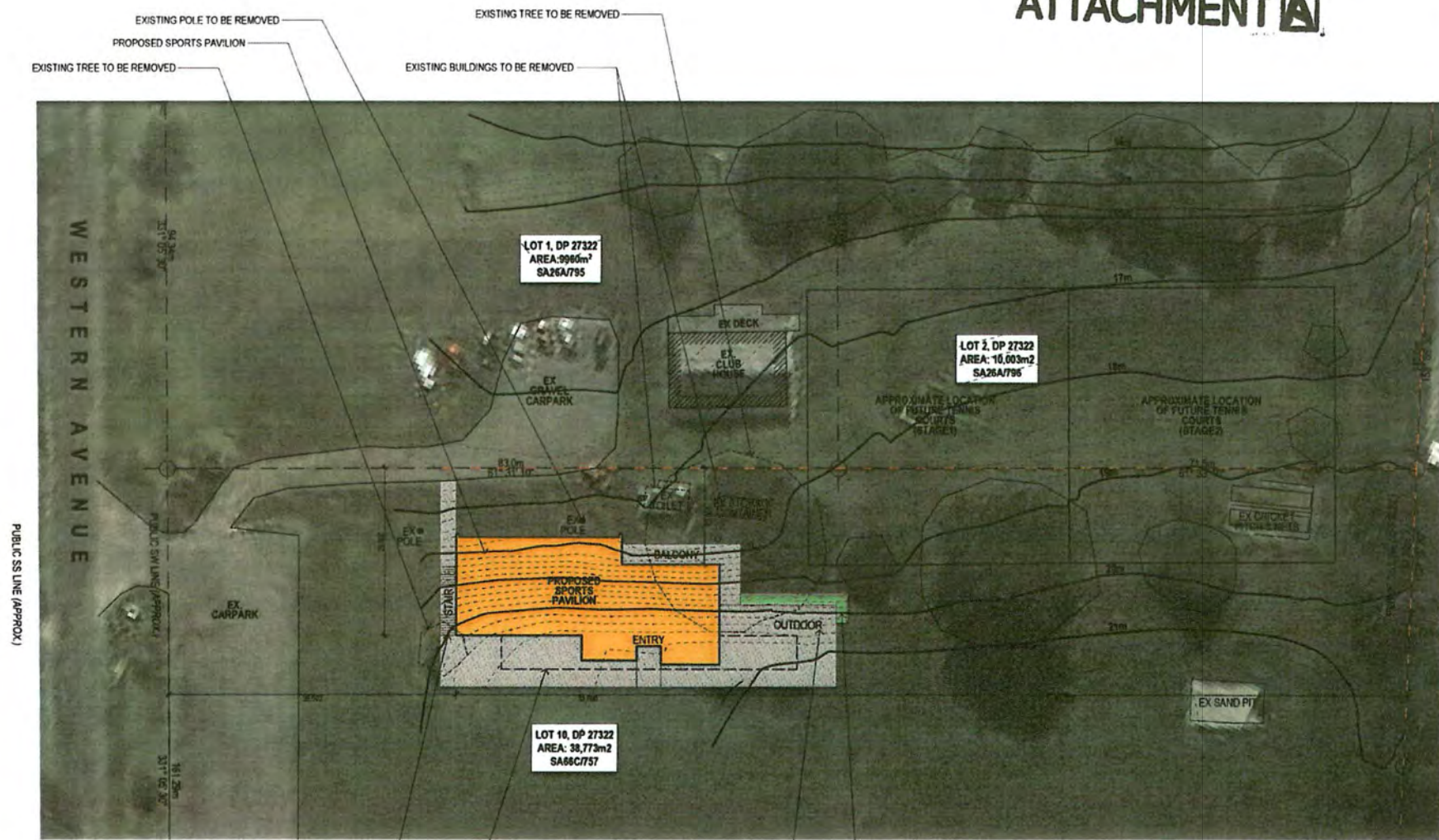
Budget Funding Information	Relevant Detail
N/A	<p>All costs relating to the processing of the proposal are to be borne by the Omokoroa District Sport and Recreation Society Incorporated.</p> <p>If the lease area is extended then prior to the demolition of the current building and the building of the new facility, the Lessee will need to provide evidence of the required funding prior to any work going ahead.</p>

ATTACHMENT









Contractor to verify all dimensions on site before commencing work. Do not scale from these drawings. Before commencing work on site please ensure you are aware of all variations and revisions. This drawing is to be read in conjunction with project specifications, schedules and contract documents.



REVISIONS



PUBLIC SS LINE (APPROX)

- KEY: EXISTING**
-  EXISTING BUILDING
 -  EXISTING TO BE REMOVED
 -  EXISTING PUBLIC STORMWATER LINE LINES INDICATIVELY ONLY
 -  EXISTING PUBLIC SANITARY SEWER LINE LINES INDICATIVELY ONLY
 -  EXISTING GROUND CONTOURS (1.0m)
 -  EXISTING GROUND CONTOURS (0.2m)
- KEY: PROPOSED**
-  PROPOSED BUILDING
 -  PROPOSED HARDSCAPE
 -  PROPOSED LANDSCAPE

SITE INFORMATION

PHYSICAL ADDRESS: WESTERN AVENUE OMOKOROA 3172
 PLANNING ZONE: RESERVE VERY HIGH
 WIND ZONE: D
 EXPOSURE ZONE: 1
 EARTHQUAKE ZONE: 1
 CLIMATE ZONE: 2

NOTES

- TOPOGRAPHICAL SURVEY SUPPLIED BY LVSIGHT CONSULTANTS LTD
- EXISTING PUBLIC DRAINAGE INFORMATION IS FROM COUNCIL'S GIS MAP. LINES INDICATIVE ONLY
- FUTURE TENNIS COURTS INFORMATION IS BASED ON THE CONSULTATION ISSUED DRAWINGS BY TOMLIN & TAYLOR (PROJECT NO. 16/2012)
- COORDINATES IN TERMS OF NEW ZEALAND TRANSVERSE MERCATOR NZTM
- SURVEY LEVELS IN TERMS OF MOTRIKI VERTICAL DATUM 1953. ORIGIN OF LEVELS IS AQ 494040 RL 36.960m
- AERIAL PHOTO COPYRIGHT 2011 BOPASS LTD AND ITS LICENSORS



considered spaces

Copyright remains the property of Stufkens+Chambers LTD

CHRISTCHURCH: +64 3 359 4033
 AUCKLAND: +64 7 571 8085
 WELLINGTON: +617 3210 6175
 WEB: www.stufkens.co.nz
 EMAIL: info@stufkens.co.nz

PROPOSED SPORTS PAVILION

WESTERN AVENUE OMOKOROA 3172

LOCALITY PLAN

CONCEPT	SCALE
JOB NO	TGA 1629
DRAWN	C.W. & J.Y.
CHECKED	S.C.
DATE	31/05/2018

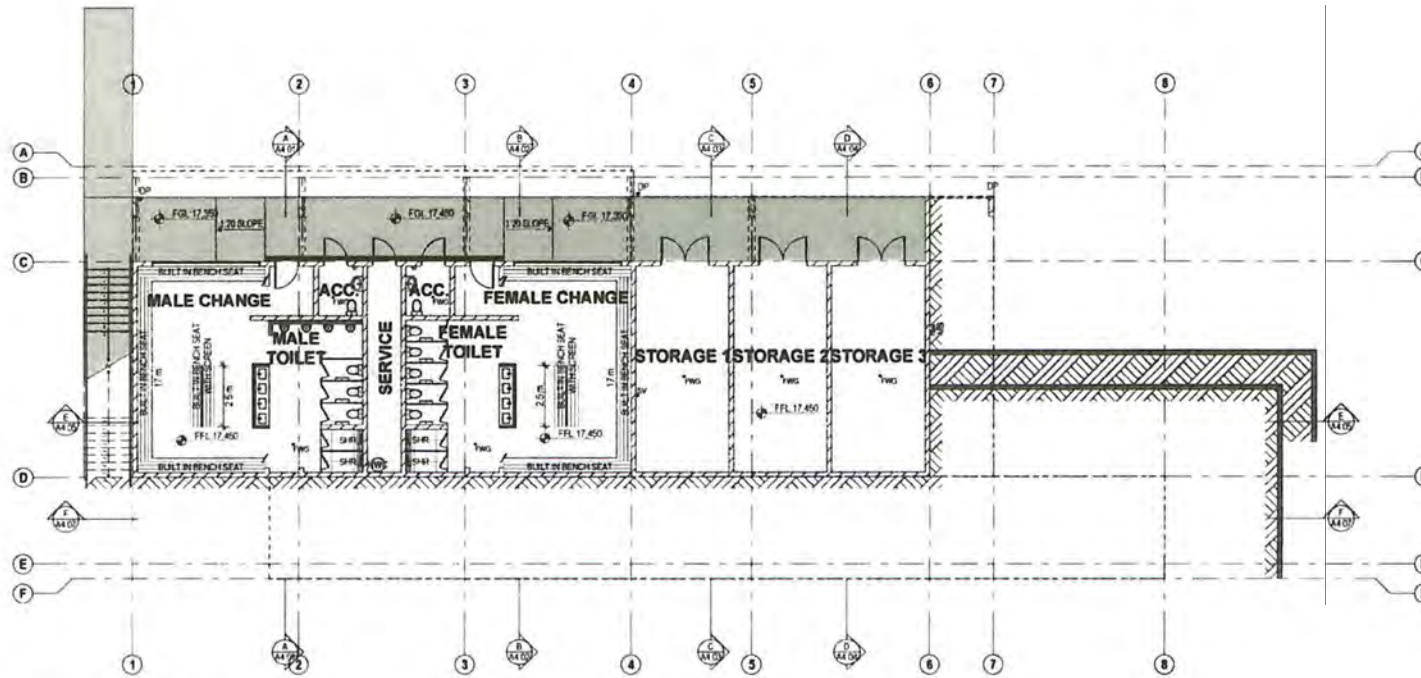
DRAWING NO: **A1.02** REVISION NO: 

25

Contractor to verify all dimensions on site before commencing work. Do not scale from these drawings. Before commencing work on site please ensure you are aware of all variations and revisions. This drawing is to be read in conjunction with project specifications, schedules and contract documents.



REVISIONS



GROUND FLOOR TOTAL AREA = 286.8m²

26



considered spaces

Copyright remains the property of Stufkens LTD
 CHRISTOPHER +64 3 358 4033
 TALARANCA +64 7 571 8038
 SORESBANE +61 2 2210 6176
 WEB www.stufkens.co.nz
 EMAIL info@stufkens.co.nz

PROPOSED SPORTS PAVILION

WESTERN AVENUE OMOKOROA
 3172

OVERALL FLOOR PLAN
 - GROUND

CONCEPT	
SCALE	1:200
JOB NO	TGA 1623
DRAWN	C.W & J.Y
CHECKED	S.C.
DATE	31/05/2018

DRAWING NO A2.01 REVISION NO

Contractor to verify all dimensions on site before commencing work. Do not scale from these drawings. Before commencing work on site please ensure you are aware of all variations and revisions. This drawing is to be read in conjunction with project specifications, schedules and contract documents.



REVISIONS

IMAGE 1

IMAGE 3

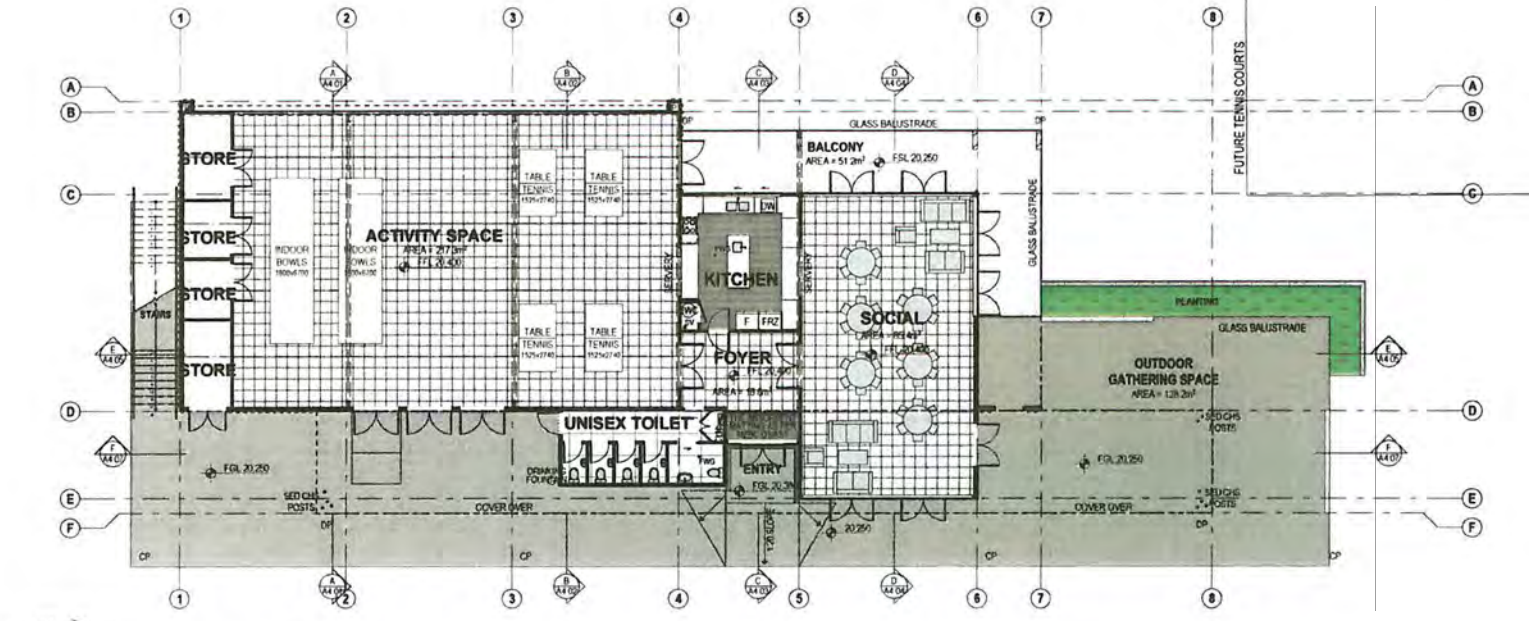


IMAGE 4

IMAGE 2

27

STUFKENS+CHAMBERS
architects

considered spaces

Copyright remains the property of SCarchitects LTD.
CHRISTINA RICH +64 3 359 4033
TAIRANGA +64 7 574 8000
BIRDMAN +617 3210 6178
WEB www.scarchitects.co.nz
EMAIL info@scarchitects.co.nz

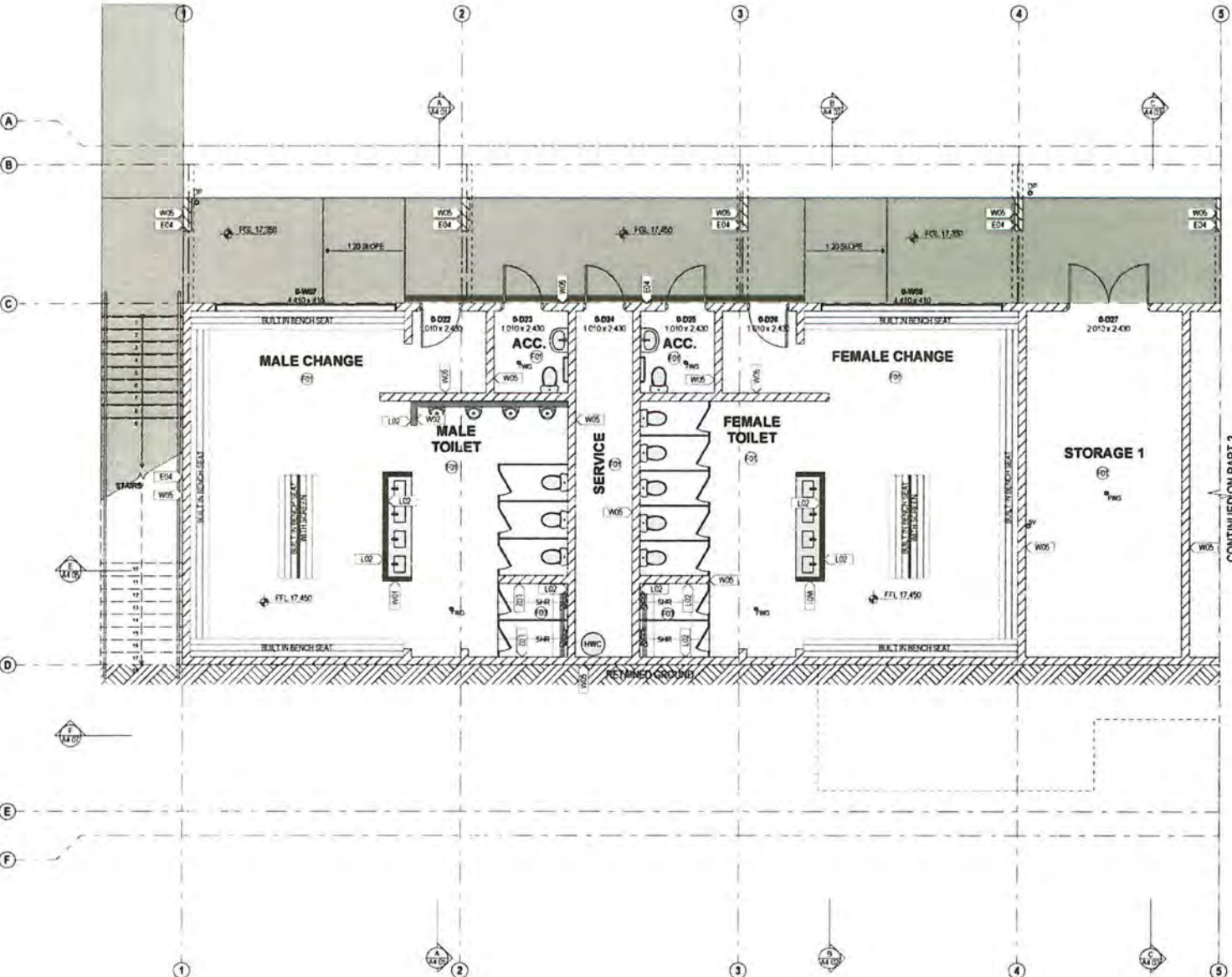
PROPOSED SPORTS PAVILION

WESTERN AVENUE OMOKOROA
3172

OVERALL FLOOR PLAN
- FIRST

CONCEPT	
SCALE	1:200
JOB NO.	TGA 1623
DRAWN	C.W. & J.Y.
CHECKED	S.C.
DATE	31/05/2018

DRAWING NO. **A2.02** REVISION NO.



- KEY: WALL FRAMING (W)**
 TIMBER FRAMED WALL WITH STUDS TO COMPLY WITH N/S/2004 2011
 REFER STUD SCHEDULE (A1-D) FOR SLIDING JOINTS
 COMPATIBLE EPIC BETWEEN ALL TIMBER FRAMING AND ANY CONCRETE SURFACE
 INSTALL INSULATION TO EXTERNAL ENVELOPE WALLS AS NOTED ON THE INSULATION TABLE
 REFER INTERNAL LINING FOR LINING TO INSIDE FACE
- 100mm THK INTERNAL TIMBER FRAMED WALL**
 30x45mm GRADE SCR - H1 2 TREATED STUDS
- 140mm THK INTERNAL TIMBER FRAMED WALL**
 140x45mm GRADE SCR - H1 2 TREATED STUDS
- 100mm THK EXTERNAL TIMBER FRAMED WALL**
 30x45mm GRADE SCR - H1 2 TREATED STUDS
 CAVITY CLADDING SYSTEM OVER 6mm RAB BOARD OVER FRAMING R2 250mm PINK BATTIS TO WALL CAVITY
- 140mm THK EXTERNAL TIMBER FRAMED WALL**
 140x45mm GRADE SCR - H1 2 TREATED STUDS
 CAVITY CLADDING SYSTEM OVER 6mm RAB BOARD OVER FRAMING R2 250mm PINK BATTIS TO WALL CAVITY
- MASONRY STACK BOND BLOCK WALL**
 20 SERIES STACK BOND MASONRY BLOCK WALLS TO ENGINEER'S DESIGN
- MASONRY RUNNING BOND BLOCK WALL**
 20 SERIES RUNNING BOND MASONRY BLOCK WALLS TO ENGINEER'S DESIGN
- BOTTOM PLATE FINISHS (TIMBER FRAMED WALLS)**
 CONCRETE FLOOR
 EITHER CAST IN BENT M 12 BOLTS FOR M 12 PROPRIETARY POST-FIX CHEMICAL ANCHORS (CHIMNEY OR SIMILAR) @ 900mm BOTH IN ACCORDANCE WITH NZS 3904 2011 EMBED 90mm TO INSTU EDGE SLABS 50x50x3mm SQUARE WASHERS TO TIMBER FACE

Contractor to verify all dimensions on site before commencing work. Do not scale from these drawings. Before commencing work on site please ensure you are aware of all variations and revisions. This drawing is to be used in conjunction with project specifications, schedules and contract documents.



REVISIONS

- KEY: INTERNAL LINING (L)**
 100mm TLE SHORTINGS WITH FLAT 5/5 TRIM ON TOILET
 10x18 FINGER JOINTED PINE SHORTINGS THROUGHOUT
 ALL LININGS STOPPED TO LEVEL 4 FOR SELECTED PAINT FINISH
- L01**
 INTERNAL WALL LINING
 1 LAYER OF 13mm GIB TOUCH-LINE
- L02**
 INTERNAL WALL LINING ON WET AREA
 1 LAYER OF 13mm GIB AQUACLINE OR SELECTED WALL TILES OVER ARDEX WET AREA MEMBRANE OVER BLOCK WALL ON SHOWER AREA - INSTALLED BY FRAMED APPLICATIONS
- L03**
 INTERNAL WALL LINING WITH VILLAGARD
 1 LAYER OF 13mm GIB TOUCH-LINE + 1mm RANDOM WIDTH VILLAGARD REFER INTERNAL ELEVATION FOR SIZE OF RANDOM WIDTH PANEL AND SELECTED COLOUR PAINT FINISH

- KEY: EXTERNAL (E)**
PROFILED METAL WALL CLADDING
 0.55 BMT 'DIPOND' BROWN/BLU 900 CLADDING WITH COLORSTEEL MAXX FINISH OVER 20mm CAVITY BATTENS OVER 6mm JAMES HARDIE RAB BOARD OVER FRAME. MATCHING 0.55 BMT FLASHINGS
- TITAN FACADE PANEL CLADDING**
 JAMES HARDIE 20mm TITAN FACADE PANELS OVER 20mm CILD STRUCTURAL CAVITY BATTENS OVER 6mm JAMES HARDIE RAB BOARD OVER FRAME. REFER EXTERNAL ELEVATION FOR SIZE OF RANDOM WIDTH PANEL AND SELECTED COLOUR PAINT FINISH

- EXTERIOR PLASTER RENDER FINISH**
 SELECTED CEMENTIOUS PLASTER FINISH WITH PAINT SYSTEM ON MASONRY BLOCK WALL
- EXTERIOR CLEAR COAT FINISH**
 SELECTED WATERPROOF CLEAR COAT SYSTEM ON HORNEED MASONRY BLOCK WALL

- BALUSTRADE TYPE 1 GLASS**
 ELUSCH POWDER COATED ALUMINIUM FRAME WITH TIGHTENED GLASS PANEL 1.1m HIGH FROM FINISH DECKING LEVEL
- BALUSTRADE TYPE 2 SOLID BLOCK**
 20 SERIES MASONRY BLOCK BALUSTRADE TO ENGINEER'S DESIGN CEMENTITIOUS PLASTER FINISH WITH PAINT SYSTEM 1.1m HIGH FROM FINISH DECKING LEVEL

- EXTERNAL HANDRAILS**
 65mm HIGH STAINLESS HANDRAILS FLOOR MOUNTED REFER DETAILS

- KEY: GENERAL**
 DP DOWN PIPE
 MB ELECTRICAL METER BOARD
 OB ELECTRICAL DISTRIBUTION BOARD

STUKENS+CHAMBERS
 architects

considered spaces

Copyright remains the property of Stukens+Chambers LTD

CHRISTOPHER TALBRIDGE
 BRISBANE
 WEB: www.stukens.com.au
 EMAIL: info@stukens.com.au

+64 7 350 4033
 +64 7 511 8098
 +617 5215 6178

PROPOSED SPORTS PAVILION

WESTERN AVENUE OMOKORO 3172

FLOOR PLAN - GROUND - PART 1

CONCEPT	
SCALE	1:100
JOB NO.	TGA 1029
DRAWN	C.W. & J.Y.
CHECKED	S.C.
DATE	31/05/2018

DRAWING NO: **A2.04**

REVISION NO:

NOTE: INSULATION
 INSULATION AS PER NZS 4201 2007 FOR SCHEDULE METHOD

LOCATION	MIN R VALUE (REQD)	INSULATION PROVIDED	R VALUE ACHIEVED
FLOOR (INSIDE SURFACE TO OUTSIDE AIR)	R1.3	PINK BATTIS R1.8 CLASSIC CEILING	R1.8
WALLS	R1.2	PINK BATTIS R1.8 CLASSIC WALL	R1.8
ROOF	R1.9	PINK BATTIS R0.2 SPLUSHROOF	R0.2
GLAZING	50% OF EXT. WALL	GLU (WASUR)	R0.32

KEY: FLOOR FINISH (F)

EXTERIOR CONCRETE RIS PART FLOOR FINISH
 75mm THICK CONCRETE FLOOR SLAB OVER 20mm DEEP POLYSTYRENE FOAM OVER DPM OVER SAND BINDER AND COMPACTED HANDFILL AS PER ENGINEER'S DETAILS REFER ENGINEERS DRAWINGS FOR REINFORCING THICKENINGS AND PERIMETER FOOTING DETAILS

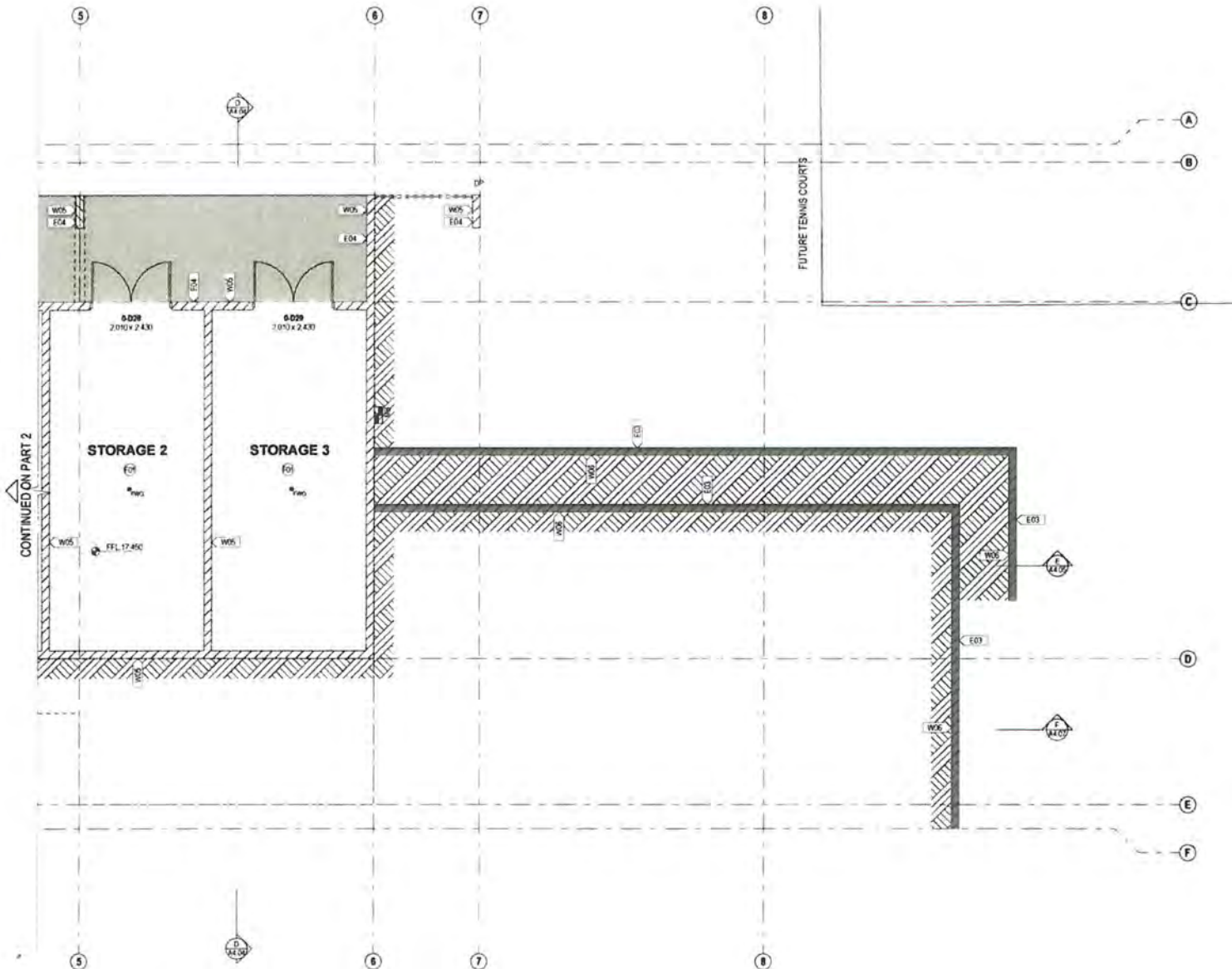
EXTERIOR HIGH SLIP SAFETY VINYL FLOOR OVERLAY
 SELECTED R12 SLIP RESISTANT VINYL FLOOR OVER CONCRETE SLAB FULLY WELDED JOINTS COVERED 300mm LIP AGAINST WALLS

INTERIOR FLOOR HIGH SLIP TILES (WET AREAS)
 SELECTED HIGH SLIP FLOOR TILES OVER ARDEX WET AREA MEMBRANE - INSTALLED BY FRAMED APPLICATIONS
 ALL SELECTED TILES ADHESIVE MORTAR AND GROUTS TO HAVE A MAXIMUM ABSORPTION RATE OF 0% AS REQUIRED BY (E3AS1311) TLE SUPPLIER AND INSTALLER TO PROVIDE CONFIRMATION VIA PRODUCER STATEMENTS

EXTERIOR CONCRETE SLAB (BALCONY)
 100mm THICK CONCRETE SLAB WITH REINFORCING MESH TO ENGINEER'S SPECIFICATIONS



REFER SPECIFICATION FOR CALCULATION SHEETS. INSULATION SHOWN ABOVE IS THE MINIMUM REQUIREMENTS. OWNER MAY INSTALL HIGHER LEVELS OF INSULATION PROVIDING THE INSULATION FITS WITHIN THE SPACES CORRECTLY.



- KEY: WALL FRAMING (W)**
 TIMBER FRAMED WALL WITH STUDS TO COMPLY WITH NZS3004:2011. REFER STUD SCHEDULE (A) (B) FOR STUD / JOG CROS-COMPARATIVE. DPC BETWEEN ALL TIMBER FRAMING AND ANY CONCRETE SURFACES.
 INSTALL INSULATION TO EXTERNAL ENVELOPE WALLS AS NOTED ON THE INSULATION TABLE.
 REFER INTERNAL LINING FOR LANDING TO NEED FACE
- W01 100mm THK INTERNAL TIMBER FRAMED WALL**
 100x45mm - GRADE SGB - H1 2 TREATED STUDS
 - W02 140mm THK INTERNAL TIMBER FRAMED WALL**
 140x45mm - GRADE SGB - H1 2 TREATED STUDS
 - W03 100mm THK EXTERNAL TIMBER FRAMED WALL**
 100x45mm - GRADE SGB - H1 2 TREATED STUDS
 CAVITY CLADDING SYSTEM OVER 6mm RAB BOARD OVER FRAMING R2 250mm PINK BATTIS TO WALL CAVITY
 - W04 140mm THK EXTERNAL TIMBER FRAMED WALL**
 140x45mm - GRADE SGB - H1 2 TREATED STUDS
 CAVITY CLADDING SYSTEM OVER 6mm RAB BOARD OVER FRAMING R2 250mm PINK BATTIS TO WALL CAVITY
 - MASONRY STACK BOND BLOCK WALL**
 20 SERIES STACK BOND MASONRY BLOCK WALLS TO ENGINEER'S DESIGN
 - MASONRY RUNNING BOND BLOCK WALL**
 20 SERIES RUNNING BOND MASONRY BLOCK WALLS TO ENGINEER'S DESIGN

- KEY: INTERNAL LINING (L)**
 100mm TLE SHIRTINGS WITH FLAT S/S TRIM ON TOILET
 100x18 FINGER JOINTED FINE SHIRTINGS THROUGHOUT
 ALL LINING STOPPED TO LEVEL 4 FOR SELECTED PAINT FINISH
- L01 INTERNAL WALL LINING**
 1 LAYER OF 13mm CB TOUGH LINE
 - L02 INTERNAL WALL LINING ON WET AREA**
 1 LAYER OF 13mm CB AQUALINE. OR SELECTED WALL TILES OVER ARDEX WET AREA MEMBRANE OVER BLOCK WALL ON SHOWER AREA - INSTALLED BY FRAMED APPLICATORS
 - L03 INTERNAL WALL LINING WITH VILLARBOARD LINING FINISH**
 1 LAYER OF 13mm CB TOUGH LINE + 13mm RANDOM WIDTH VILLARBOARD REPER INTERNAL ELEVATION FOR SIZE OF RANDOM WIDTH PANEL, AND SELECTED COLOUR PAINT FINISH

- KEY: EXTERNAL (E)**
- PROF ED METAL WALL CLADDING**
 0.55 DBT (DRINK) BROWNEBILT 300 CLADDING WITH COLORSTEEL MAX FINISH OVER 20mm CAVITY BATTENS OVER 6mm JAMES HARVEY RAB BOARD OVER FRAME MATCHING 0.55 DBT FLASHINGS
 - TITAN FACIAD PANEL CLADDING**
 JAMES HARVEY TITAN FACIAD PANELS OVER 20mm C/D STRUCTURAL CAVITY BATTENS OVER 6mm JAMES HARVEY RAB BOARD OVER FRAME REFER EXTERNAL ELEVATION FOR SIZE OF RANDOM WIDTH PANEL, AND SELECTED COLOUR PAINT FINISH
 - EXTERIOR PLASTER RENDER FINISH**
 SELECTED CEMENTITIOUS PLASTER FINISH WITH PAINT SYSTEM ON MASONRY BLOCK WALL
 - EXTERIOR CLEAR COAT FINISH**
 SELECTED WATERPROOF CLEAR COAT SYSTEM ON HORND MASONRY BLOCK WALL
 - BALUSTRADE TYPE 1 GLASS**
 ILLICH POWDER COATED ALUMINIUM FRAME WITH TOUCHED-EDGE GLASS PANEL 11mm HIGH FROM FINISH DECKING LEVEL
 - BALUSTRADE TYPE 2 SOLID BLOCK**
 20 SERIES MASONRY BLOCK BALUSTRADE TO ENGINEER'S DESIGN. CEMENTITIOUS PLASTER FINISH WITH PAINT SYSTEM 11mm HIGH FROM FINISH DECKING LEVEL
 - EXTERIOR HANDRAILS**
 65mm HIGH STAINLESS HANDRAILS FLOOR MOUNTED REFER DETAILS

- KEY: GENERAL**
- DP** DOWN PIPE
 - M3** ELECTRICAL METER BOARD
 - DB** ELECTRICAL DISTRIBUTION BOARD

Contractor to verify all dimensions on site before commencing work. Do not scale from these drawings. Before commencing work on site please ensure you are aware of all variations and omissions. This drawing is to be used in conjunction with project specifications, schedules and contract documents.



REVISIONS

STUFKENS+CHAMBERS architects

considered spaces

Copyright remains the property of Stufkens Ltd

CHRISTOPHER TULLIANCE
 DIRECTOR
 WEB: www.stufkens.co.nz
 EMAIL: info@stufkens.co.nz

+64 9 300 4333
 +64 7 571 8790
 +61 2 915 0175

PROPOSED SPORTS PAVILION

WESTERN AVENUE OMOKOROA 3172

FLOOR PLAN - GROUND - PART 2

CONCEPT	
SCALE	1:100
JOB NO.	TGA 1623
DRAWN	C.W. & J.V.
CHECKED	S.C.
DATE	31/05/2018

DRAWING NO: **A2.05**

REVISION NO:

NOTE: INSULATION
 INSULATION AS PER NZS 4231:2007 FOR SCHEDULE METHOD

LOCATION	MIN R VALUE REQD	INSULATION PROVIDED	R VALUE ACHIEVED
FLOOR (INSIDE SURFACE TO OUTSIDE AIR)	R1.3	PINK BATTIS R1.8 CLASSIC CEILING	R1.8
WALLS	R1.2	PINK BATTIS R1.8 CLASSIC WALL	R1.8
ROOF	R1.6	PINK BATTIS R3.2 SKULLEN ROOF	R3.2
GLAZING	50% OF EXT WALL	IGU (W/ARG)	R0.32

REFER SPECIFICATION FOR CALCULATION SHEETS. INSULATION SHOWN ABOVE IS THE MINIMUM REQUIREMENTS. OWNER MAY INSTALL HIGHER LEVELS OF INSULATION PROVIDING THE INSULATION FITS WITHIN THE SPACES CORRECTLY.

- KEY: FLOOR FINISH (F)**
- F01 INTERIOR CONCRETE RIS RAB FLOOR FINISH**
 100mm THICK CONCRETE FLOOR SLAB OVER 200mm DEEP POLYSTYRENE ADDS OVER 30M OVER SAND BLENDED AND COMPACTED. HANDELL AS PER ENGINEER'S DETAILS. REFER ENGINEER'S DRAWINGS FOR REINFORCING THICKENINGS AND PERIMETER FOOTING DETAILS.
 - F02 INTERIOR CARPET TILES FLOOR OVERLAY**
 SELECTED CARPET TILES FLOOR OVERLAY WITH CUSHION UNDERLAY OVER CONCRETE SLAB

- KEY: INTERIOR FLOOR NON SLP TILES (WET AREAS)**
 SELECTED NON SLP FLOOR TILES OVER ARDEX WET AREA MEMBRANE. INSTALLED BY FRAMED APPLICATORS. ALL SELECTED TILES, ADHESIVE MORTAR AND GROUTS TO HAVE A MAXIMUM ABSORPTION RATE OF 0% AS REQUIRED BY EBAS1311(B) TILE SUPPLIER AND INSTALLER TO PROVIDE CONFIRMATION VIA PRODUCER STATEMENTS.
- KEY: INTERIOR FLOOR NON SLP TILES (WET AREAS)**
 SELECTED NON SLP FLOOR TILES OVER ARDEX WET AREA MEMBRANE. INSTALLED BY FRAMED APPLICATORS. ALL SELECTED TILES, ADHESIVE MORTAR AND GROUTS TO HAVE A MAXIMUM ABSORPTION RATE OF 0% AS REQUIRED BY EBAS1311(B) TILE SUPPLIER AND INSTALLER TO PROVIDE CONFIRMATION VIA PRODUCER STATEMENTS.

- KEY: INTERIOR NON SLP SAFETY VINYL FLOOR OVERLAY**
 SELECTED R12 SLP RESISTANT VINYL FLOOR OVER CONCRETE SLAB FULLY WELDED JOINTS COVERED 100mm LP AGAINST WALLS
- KEY: EXTERIOR CONCRETE SLAB (BALCONY)**
 100mm THICK CONCRETE SLAB WITH REINFORCING MESH TO ENGINEER'S SPECIFICATIONS.

3D VIEW

ATTACHMENT A

**STUFKENS+
CHAMBERS**
architects

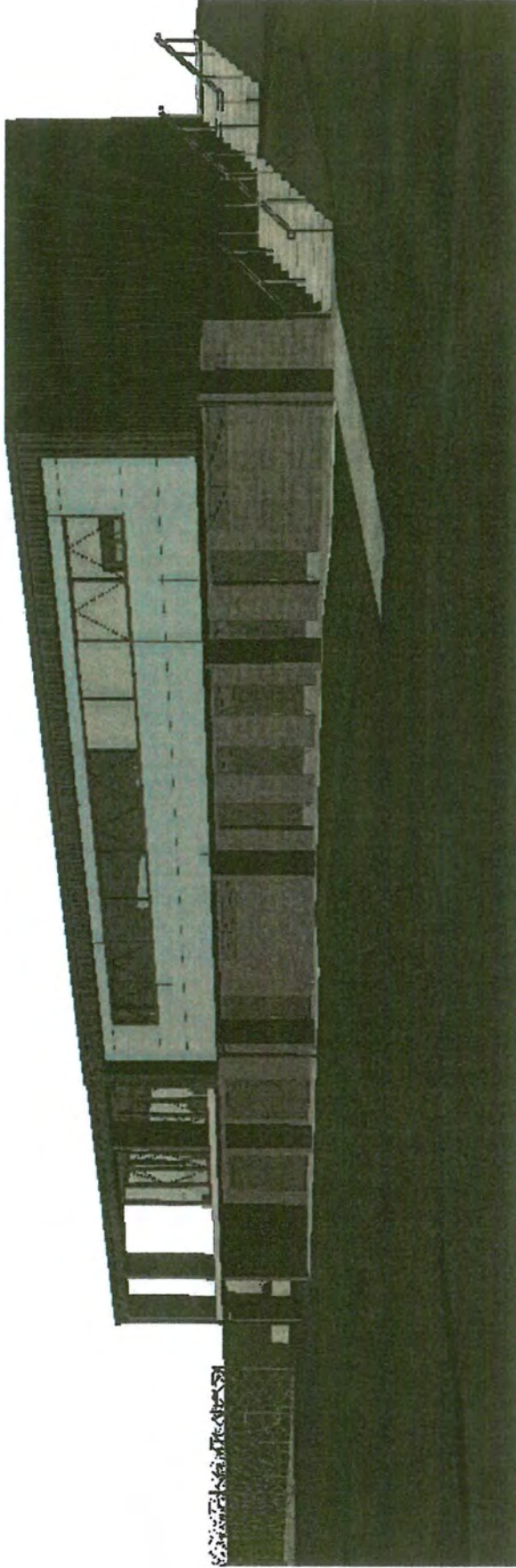


IMAGE 1

3D VIEW

ATTACHMENT A

STUFKENS+
CHAMBERS
architects

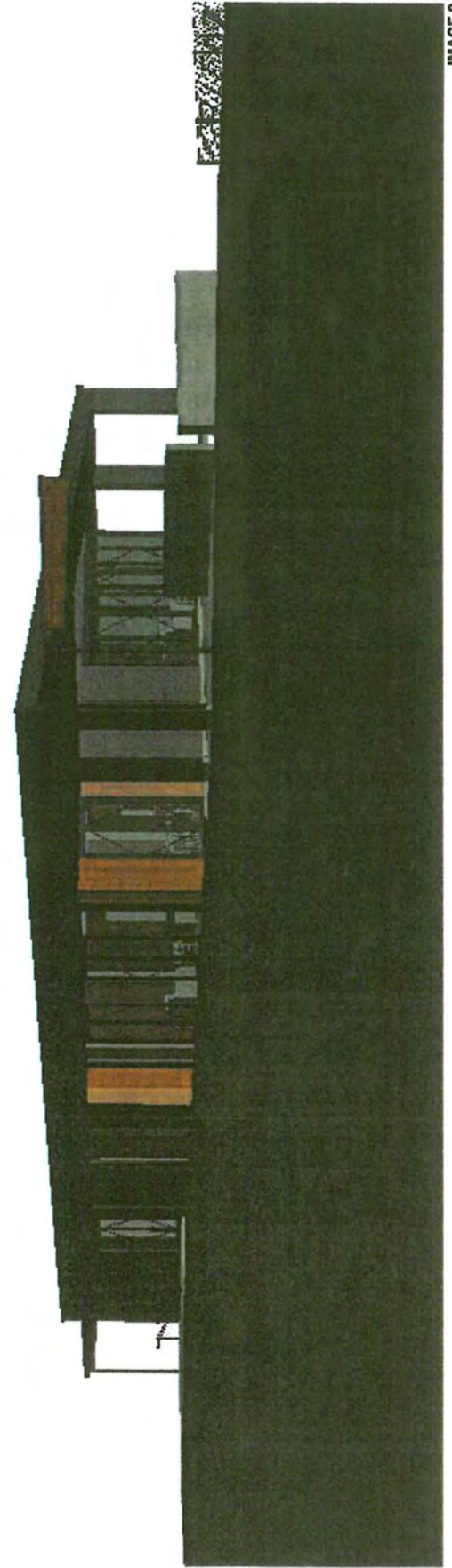


IMAGE 2

3D VIEW

STUFKENS+
CHAMBERS
architects

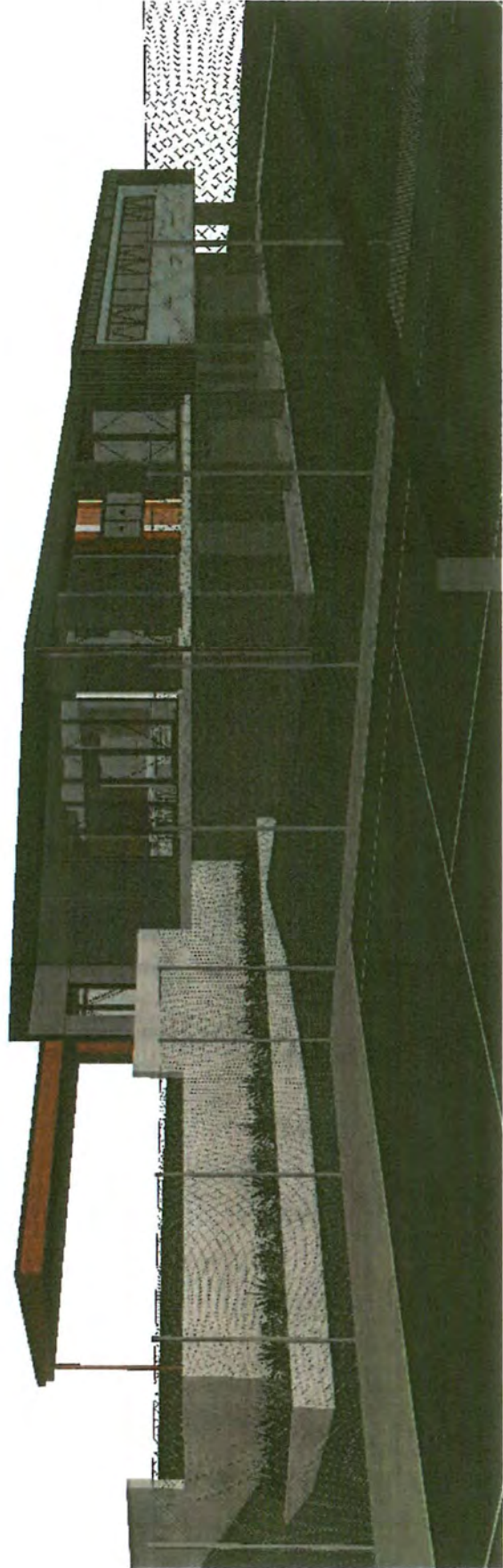
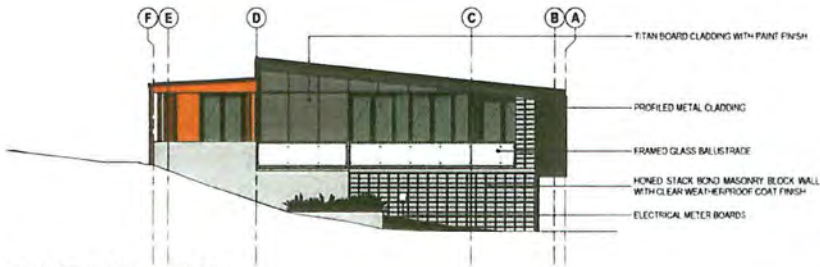
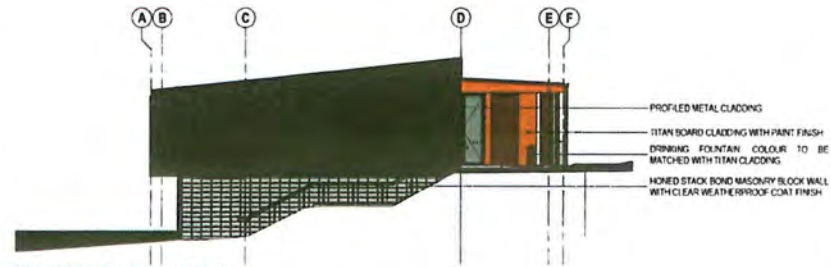


IMAGE 3

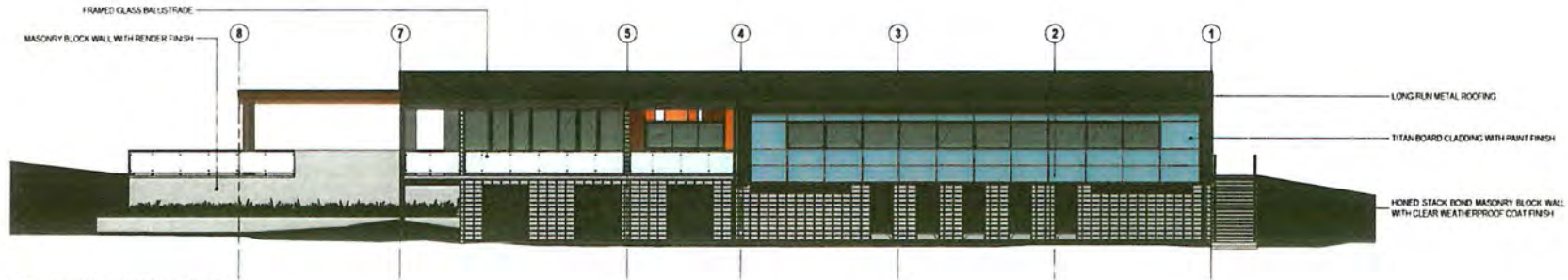
Contractor to verify all dimensions on site before commencing work. Do not scale from these drawings. Before commencing work on the project ensure you are aware of all variations and revisions. This drawing is to be read in conjunction with project specifications, schedules and contract documents.



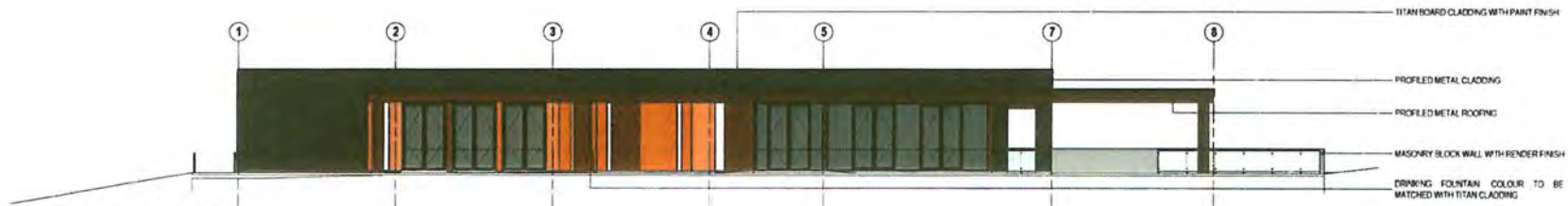
EAST ELEVATION
ELEVATION E1
SCALE: 1:200@A3



WEST ELEVATION
ELEVATION W1
SCALE: 1:200@A3



NORTH ELEVATION
ELEVATION N1
SCALE: 1:200@A3



SOUTH ELEVATION
ELEVATION S1
SCALE: 1:200@A3

REVISIONS

**STUFKENS+
CHAMBERS**
architects

considered spaces

Copyright remains the property of SCArchitects LTD
 CHRISTO KIROU +64 3 309 4033
 TAURANGA +64 7 571 8088
 BRISBANE +617 3210 8178
 WEB www.scarchitects.co.nz
 EMAIL info@scarchitects.co.nz

PROPOSED SPORTS PAVILION

**WESTERN AVENUE OMOKOROA
3172**

OVERALL ELEVATIONS

CONCEPT	
SCALE	1:200
JOB NO	TGA 1823
DRAWN	C.W & J.Y
CHECKED	S.C
DATE	31/05/2018

DRAWING NO	REVISION NO
A3.01	○

6.23 Omokoroa Sports Ground and Western Ave Access way.

Location	Western Ave, Links View Drive		Current Inventory	
Classification:	Recreation Reserve and Local Purpose Access way		Sports field 3	Medium
District Plan Zone	Residential		Toilet	Medium x 2
ID	30, 35		Car park	Medium
Current State	Sports fields and Walkway		Clubroom	
RMP	Ward RMP October 2008		Tennis Courts	Medium (2)
Concept Plan	April 1999 and October 2014		Cricket Wicket	Specialised surface – medium
Area	5.8778 Ha Recreation Reserve. 0.2107 Local Purpose Access way		Skate path	Medium
Overview	Walkway links to harbour edge & Anderley Ave.		1 Bin	
Grass Mowing Standard	(6.06 Ha) Type C – The standard applied to specific sports fields as specified in the Levels of Service		Walkway	Basic
Toilet Cleaning	Both toilets every two days			



Background:

- Reserve developed as sports ground.
- Western part of reserve along Western Ave has been developed as a roadside car park area for the sports ground.
- Clubrooms located centrally within the reserve.
- Western Ave walkway connects to Links View Drive.

Reserve Issues:

- Final location of a future 'Sportsville' Active Recreation Facility for the Omokoroa Peninsula to be decided.
 - Sharing of facilities and resources with the opportunity for sporting codes to work together.
 - New clubroom facility to have public toilets and changing rooms.
 - Location of the additional tennis courts 3 and 4 resolved by Council on 25 August 2016 to be due east of new courts 1 and 2.
- (Continued next page)



(From previous page)

Reserve Issues:

- Turf management.
- Caters for community events including outdoor concerts.
- Specimen tree planting around reserve.

Reserve Management Policy:

- 6.23.1 Continue to develop Omokoroa Sports Ground as the active recreation facility for the Omokoroa community.
- 6.23.2 Implement revised concept plan.
- 6.23.3 Potential dog exercise area adjoining Western Avenue access way.
- 6.23.4 Enhance amenity and open space character of the reserve through additional specimen tree planting.
- 6.23.5 Enable multiuse facilities and activities to be located in the clubrooms area of the reserve.
- 6.23.6 Freedom camping is permitted within the car park subject to Bylaw restrictions. (Refer to Bylaw).
- 6.23.7 Fireworks displays are permitted on Omokoroa Sports Ground under the provisions of generic policy P11, Fireworks Displays.
- 6.23.8 Generic objectives for Local Purpose and Recreation Reserves and generic policies apply.

2015/25 LTP Approved Actions	Action Cost Estimate	Renewal Higher Std Growth	Preferred Timing	Project No
Hard courts (Council)	108,000		2016/17	294503
Remove and replace existing club facility, Earthworks (Community)	655,000		2016/17	294508
Toilet in Club house to include changing rooms. Landscaping (Council).	123,000		2016/17	294507
Playground (Council)	105,085		2017/18	294507
Skate park Playground shelter and paved area (Council/Community)	67,254		2017/18	294507
Tennis courts x 2 Basic (Council)	120,847		2017/18	294507
New sealed car park (2 Car parks) (Council)	140,814		2017/18	294507



38

Western Bay of Plenty District Council
Operations & Monitoring Committee
Possible Construction of Service Centre on
Western Avenue Reserve

Purpose

To canvas with Councillors the possible construction of a Service Centre adjoining the Sports Pavilion proposed by the Omokoroa District Sport and Recreation Society (the Society).

Given the Society would like confirmation of Council's intentions in the above regard as soon as possible Council may wish to confirm it's intention to construct this Service Centre.

Preliminary investigations have been undertaken by the Society, which are likely to be of use for this Council should it be agreed to proceed with the project.

Recommendation

- 1. THAT the Strategic Property Manager's report dated 17 July 2018 and titled Possible Construction of Service Centre on Western Avenue Reserve be received.**
- 2. THAT the report relates to an issue that is considered to be of low significance in terms of Council's Significance and Engagement Policy.**
- 3. THAT the Strategic Property Manager be requested to proceed with preliminary investigations with regard to the construction of a Service Centre within the Sports Pavilion precinct**

AND/OR

- 3.1 THAT the Strategic Property Manager proceed with final design of the Service Centre in consultation with Omokoroa Community Board, the Omokoroa District Sport and Recreation Society and other affected staff.**

AND/OR

- 3.2 THAT approval in principle be given for the construction of a Library / Service Centre on the Omokoroa Sportsground on Western Avenue subject to a further report being received on funding requirements and potential sale of the existing Library / Service Centre in Omokoroa.**
- 4. THAT if approval in principle is given for the construction of a Library / Service Centre on the Omokoroa Sportsground on Western Avenue, staff be directed to publically notify the proposal in terms of the Reserves Act 1977.**



Blaise Williams
Strategic Property Manager



Approved

Gary Allis
Deputy Chief Executive

1. Background

Council's current Service Centre and Library situated in McDonnell Street in Omokoroa is approximately 130m² in area. Of this 104m² is used for Library / Service Centre.

Council's levels of service for the provision of library area by 2022 is 36m² per 1,000 head of population. That is at 10,000 head of population, library area provided should be of the order of 360m².

The Society is preparing to undertake construction of a Sports Pavilion in the Omokoroa Sportsground of just under 700m² gross floor area for \$1.6m. This is only achievable through the use of volunteer and "friendly contractors" as the proposed rate is \$2,302 per m².

Councillors will also recall in the recent LTP submissions that the Omokoroa Community are seeking improved facilities be provided. The location of a Library / Service Centre on Western Avenue Reserve would be a central location for the peninsula as development south of the railway increases.

Councillors will recall that staff were requested to explore three options in relation to the Omokoroa Library/Service centre:

1. Whether the current building is suitable for interim location for a Library
2. Whether Council could extend the proposed new pavilion footprint by approximately 200m² **Attachments A and B**
3. Extend the new proposed pavilion and retain the existing pavilion as a Community Hub.

Further detail on the Society's proposed new pavilion is available in a separate report relating to a new lease area.

Current building

The current building is of a board and batten design with no insulation or plumbing.

A preliminary inspection would indicate that the building is poorly constructed and likely to require significant upgrade to meet current health and safety requirements and the current building code.

Extend proposed new pavilion

It is considered that the proposed construction of a Sports Pavilion on the Western Avenue Reserve presents an opportunity to provide improved service to the community in the medium term by constructing a multi-purpose building that could be used for a Library / Service Centre.

Whilst a Library / Service Centre is not contemplated within the Reserve Management Plan it is considered that library use is passive recreation and would therefore meet the ethos of good use of reserve land.

The addition of a library/service centre to the Pavilion with a view to it's long term use as a future community facility would also meet community aspirations for this amenity. As a Library / Service Centre is not contemplated in the Reserve Management Plan this use is likely to trigger resource consent in order to assess effects of the proposal on the area.

A possible footprint of 200m² with a basement could provide library amenity and service centre to the community through the construction of approx. 300m² of gross floor space.

Preliminary investigations and consultancy on this project would cost in the order of \$120,000 and would include architectural design, geotechnical, archaeological and hydrological surveys.

Once the design has been finalised it would be possible to get some indication of cost which would likely be of the order of \$4,000 per m².

Extend new pavilion and retain existing pavilion

For reasons stated above, retention of the old pavilion should only occur for an interim period, if kept at all, due to the extensive work that would be required to bring it up to current Building Code requirements

The Reserve Management Plan shows other amenity features which could be compromised by the construction of a sports pavilion. For example, the location of potential additional tennis courts may have to be moved slightly to accommodate the proposed sports pavilion in it s proposed location. **Attachment C**

The provision of a new pavilion is shown in the Omokoroa Sportsground Concept Plan adopted by Council in 2014, therefore it is contemplated that a new pavilion is planned.

2. Significance and Engagement

In terms of the Significance and Engagement Policy this decision is considered to be of low significance because it contemplates works on a Reserve to construct a Library that has been requested in the recent Long Term Planning Submission process. Libraries are classed as facilitators of passive recreation and therefore fit well within the ethos of Reserve use.

3. Engagement, Consultation and Communication

Interested/Affected Parties	Completed/Planned Engagement/Consultation/Communication
Name of interested parties/groups	WBOPDC, Omokoroa Ratepayers and other users of the Reserve
Tangata Whenua	Yes
General Public	Yes

Please note that a separate report relating to the proposed lease area for the new pavilion will be publicly consulted upon. Council could consider including the proposed library / service centre in the same public consultation process as long as this did not compromise the Society's pavilion proposal.

4. Issues and Options Assessment

Option A	
<p><i>THAT the Strategic Property Manager be requested to proceed with preliminary investigations with regard to the construction of a Service Centre within the Sports Pavilion precinct</i></p> <p><i>AND/OR</i></p> <p><i>THAT the Strategic Property Manager proceed with final design of the Service Centre in consultation with Omokoroa Community Board, the Omokoroa District Sport and Recreation Society and other affected staff.</i></p>	
<p>Assessment of option for advantages and disadvantages taking a sustainable approach</p>	<p>Advantages: Allows Council to make an informed decision after following sound due diligence processes.</p> <p>Disadvantages: Potential for pavilion build to get out of sequence with the construction of the Council Library and Service Centre</p>
<p>Costs (including present and future costs, direct, indirect and contingent costs) and cost effectiveness for households and businesses</p>	<p>\$50,000</p>
Option B (If applicable)	
<p><i>THAT approval in principle be given for the construction of a Library / Service Centre on the Omokoroa Sportsground on Western Avenue subject to a further report being received on budgetary requirements and potential sale of the existing Library / Service Centre in Omokoroa.</i></p>	
<p>Assessment of option for advantages and disadvantages taking a sustainable approach</p>	<p>Advantages:</p> <ol style="list-style-type: none"> 1. Speeds up process – allows Council to catch up with Pavilion programme 2. Cost effective as due diligence will immediately precede design
<p>Costs (including present and future costs, direct, indirect and contingent costs) and cost effectiveness for households and businesses</p>	<p>\$120,000</p>

5. Statutory Compliance

This report meets all statutory and legal requirements.

The Library / Service Centre would be located on Recreation Reserve land. This is not too dissimilar to the current Katikati Area Office and Library, which is located on Local Purpose "Community" Reserve land.

Council would need to follow the Reserves Act requirements and it's policy on building and structures on Reserves contained in the Kaimai Ward Reserve Management Plan. As stated above, the Committee will be considering a separate report relating to the Omokoroa District Sport and Recreation Society's proposal to build a new pavilion, which provides an opportunity to use the same process to cater for both proposals.

6. Funding/Budget Implications

Budget Funding Information	Relevant Detail
	No specific provision exists for this expenditure but funding is available within the Property Replacement Reserve for the design and construction of this Library / Service Centre.



REVISIONS

DRAFT ONLY
NOT FOR
DISTRIBUTION



considered spaces

Copyright remains the property of SCarchitects LTD
 CHRISTCHURCH +64 3 359 4033
 TAURANGA +64 7 571 8086
 BRISBANE +617 3210 6178
 WEB www.srchitects.co.nz
 EMAIL info@scrchitects.co.nz

PROPOSED SPORTS PAVILION

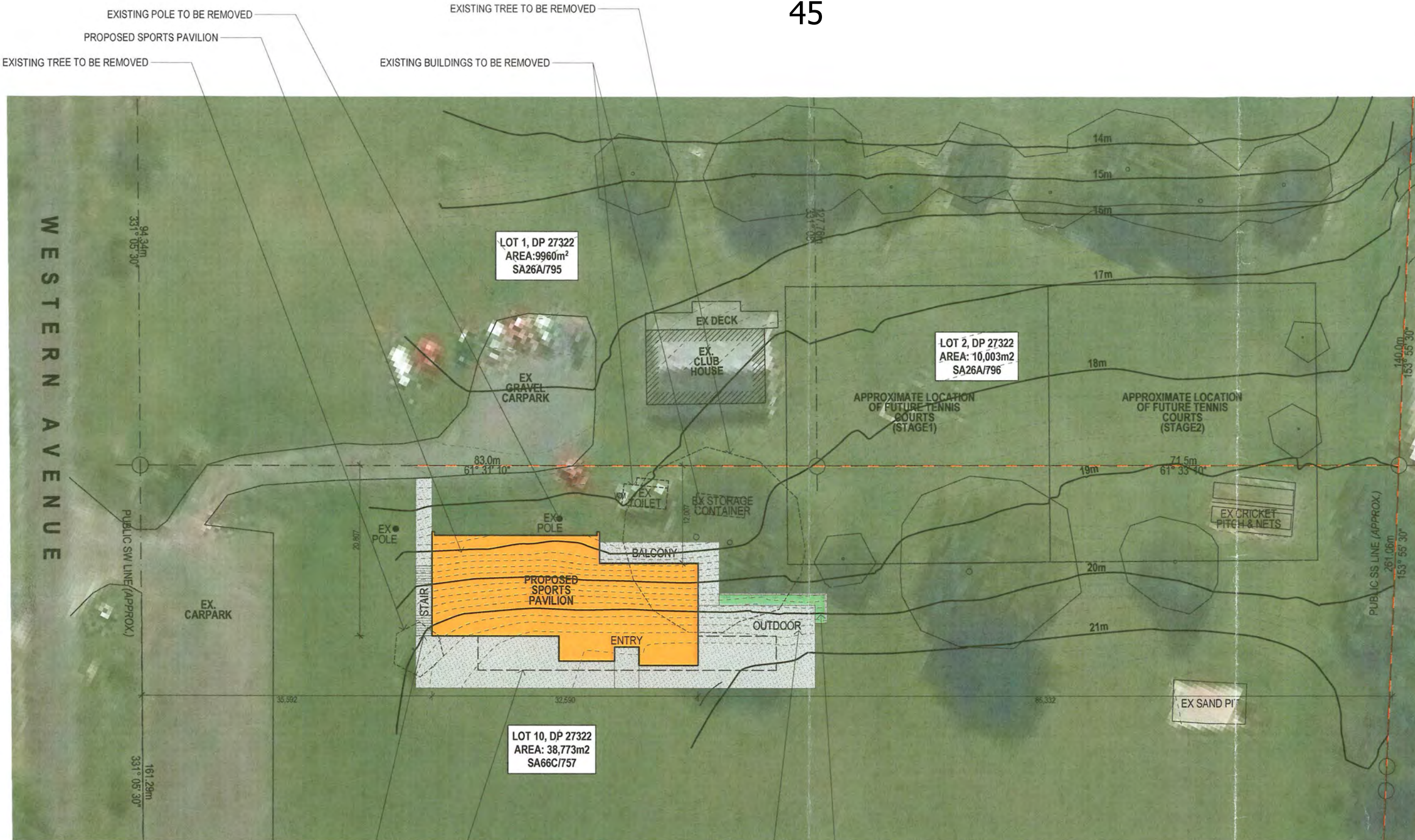
WESTERN AVENUE OMOKOROA
3172

LOCALITY PLAN

CONCEPT	1:500
SCALE	1:500
JOB NO.	TCO-1623
DRAWN	C.W. 1/17
CHECKED	J.C. 1/17
DATE	31/05/2018

DRAWING NO.
A1.02

ATTACHMENT 1



- KEY: EXISTING**
- EXISTING BUILDING
 - EXISTING TO BE REMOVED
 - EXISTING PUBLIC STORMWATER LINE LINES INDICATIVELY ONLY.
 - EXISTING PUBLIC SANITARY SEWER LINE LINES INDICATIVELY ONLY.
 - EXISTING GROUND CONTOURS (1.0m)
 - EXISTING GROUND CONTOURS (0.2m)
- KEY: PROPOSED**
- PROPOSED BUILDING
 - PROPOSED HARDSCAPE
 - PROPOSED LANDSCAPE

SITE INFORMATION

PHYSICAL ADDRESS: WESTERN AVENUE OMOKOROA 3172
 PLANNING ZONE: RESERVE
 WIND ZONE: VERY HIGH
 EXPOSURE ZONE: D
 EARTHQUAKE ZONE: 1
 CLIMATE ZONE: 2

NOTES

- TOPOGRAPHICAL SURVEY SUPPLIED BY LYSAGHT CONSULTANTS LTD.
- EXISTING PUBLIC DRAINAGE INFORMATION IS FROM COUNCIL'S GIS MAP. LINES INDICATIVE ONLY.
- FUTURE TENNIS COURTS INFORMATION IS BASED ON THE CONSTRUCTION ISSUED DRAWINGS BY TONKIN & TAYLOR (PROJECT NO. 851892)
- COORDINATES IN TERMS OF NEW ZEALAND TRANSVERSE MERCATOR (NZTM).
- SURVEY LEVELS IN TERMS OF MOTRIKI VERTICAL DATUM 1953. ORIGIN OF LEVELS IS AQ 48(AB48) RL 36.5601m.
- AERIAL PHOTO COPYRIGHT 2011 BOPLASS LTD. AND ITS LICENSORS

PUBLIC SS LINE (APPROX.)

Western Bay of Plenty District Council
Operations & Monitoring Committee
Pukehina Surf Rescue Lifeguard Service
Incorporated - Lease Area Extension

Purpose

The Pukehina Surf Rescue Lifeguard Service Inc. have applied to Council for an extension to their lease area over Dotterel Point Reserve in order to upgrade and extend their facility.

The lifeguard service has also recently obtained a Resource Consent for the proposed building they wish to be rebuilt in this location.

The Operations & Monitoring Committee is required to pass a resolution of its intent to grant an extension to the Lease area prior to undertaking public consultation.

Representatives from the Pukehina Surf Rescue Lifeguard Service will be present at the Committee meeting to answer any queries that the committee may have.

Recommendation

- 1. THAT the Reserves and Facilities Manager's report dated 6 July 2018 and titled Pukehina Surf Rescue Lifeguard Service Lease Area Extension be received.***
 - 2. THAT the Operations and Monitoring Committee approves/does not approve in principle the application by the Pukehina Surf Rescue Lifeguard Service Incorporated to lease an additional area of 118m² to allow for the upgrade and extension of their facility situated on Dotterel Point Reserve.***
 - 3. THAT If approval in principle is given, such approval must not be construed by the applicant, as a guarantee that all other consents required by any policy, by-law, regulation or statute, will be forthcoming. The applicant is responsible for obtaining all required consents at its own cost.***
- AND**
- 4. If approval in principle is given, that staff be directed to publicly notify the proposal in terms of Section 119 of the Reserves Act 1977.***
 - 5. THAT the report relates to an issue that is not considered significant in terms of Council's policy on Significance.***

Date: 6 July 2018

Open Session

Subject: Pukehina Surf Rescue Lifeguard Service Incorporated - Lease Area Extension



Peter Watson
Reserves and Facilities Manager



Approved

Gary Allis
Group Manager Engineering Services

Minute Action Sheet	Position Code
For Action	LPOR
For Info	RFM
For Info	GM1
For Info	PAE

1. Background

The Pukehina Surf Rescue Lifeguard Service leases an area of reserve from the Western Bay of Plenty District Council at Dotterel Point Reserve, Pukehina Beach and are wishing to upgrade and expand their current facilities. The Club has outgrown their current facility which is old and needs replacing.

The attached concept plans identifies the proposed new facility. **Attachment A**

The premises are used by the club as their clubrooms, which are also made available for other community groups.

The club requests, under the provisions of their lease, to extend their lease area to allow for the expansion of their building. The current footprint notated in the lease is 62m². Over time the club has extended the area of use upon Dotterel Point Reserve by adding a deck and containers on site. The current coverage is 96m². The proposed footprint for the extended lease area is approximately 180m².

Approximately six years ago, approval was given to place a shipping container at the rear end of the building to assist with equipment storage. The lifeguard service have been planning for growth for several years and have recently applied for and been granted a Resource Consent to locate the proposed facility at the current site. The proposed building is significantly larger than the current facility.

The expansions will allow the club to cater for current and future demand of their activities and services that they provide in a voluntary capacity to the wider public.

Waihi Beach Lifeguard Service undertook a significant expansion of their facilities over ten years ago.

The Mount Manganui Lifeguard Service and Papamoa Surf Lifesaving Club are also currently in the process of expanding or rebuilding their facilities.

These expansions are being undertaken to make the facilities fit for purpose in response to the growing population.

Council as land owner and service provider, will be looking to incorporate upgraded/new toilets within the design of the surf club's proposed extensions.

Council has recently upgraded the old septic tank to a new advanced septic tank system that takes the proposed facility requirements into consideration.

The proposed building extensions will allow better utilisation of the building for both club and community groups.

2. Significance and Engagement

The Local Government Act 2002 requires a formal assessment of the significance of matters and decisions in this report against Council's Significance and Engagement Policy. In making this formal assessment there is no intention to assess the importance of this item to individuals, groups, or agencies within the community and it is acknowledged that all reports have a high degree of importance to those affected by Council decisions.

The Policy requires Council and its communities to identify the degree of significance attached to particular issues, proposals, assets, decisions, and activities.

In terms of the Significance and Engagement Policy this decision is considered to be of low significance.

3. Engagement, Consultation and Communication

Interested/Affected Parties	Completed/Planned Engagement/Consultation/Communication
Tangata Whenua	Local iwi will be contacted for comment.
Pukehina Ratepayers Association	PRA will be contacted for comment.
General Public	If Council agree to the proposal to extend the lease area, then there will be a requirement to undertake a one month statutory period of public consultation as required under Section 119 of the Reserves Act 1977.

4. Issues and Options Assessment

Option A <i>THAT the Operations and Monitoring Committee APPROVES in principle the application by the Pukehina Surf Rescue Lifeguard Service Incorporated to lease an additional area of 118m² to allow for the upgrade and extension of their facility situated on Dotterel Point Reserve.</i>	
Assessment of option for advantages and disadvantages taking a sustainable approach	Advantages: <ul style="list-style-type: none"> • Investment is made by the club into upgraded facilities • Improved functionality of the building including the public toilets • Improved security around the building • Building work contributes to local economy
Costs (including present and future costs, direct, indirect and contingent costs) and cost effectiveness for households and businesses	<ul style="list-style-type: none"> • All costs involved with varying the club's lease are to be met by the club • The club's rental would be increased due to the increased area the building would occupy
Option B <i>THAT the Operations and Monitoring Committee DOES NOT APPROVE in principle the application by the Pukehina Surf Rescue Lifeguard Service Incorporated to lease an additional area of 118m² to allow for the upgrade and extension of their facility situated on Dotterel Point Reserve.</i>	
Assessment of option for advantages and disadvantages taking a sustainable approach	Disadvantages: <ul style="list-style-type: none"> • Improved facilities would not be realised • Security issues would remain • Local economy not supported
Costs (including present and future costs, direct, indirect and contingent costs) and cost effectiveness for households and businesses	<ul style="list-style-type: none"> • The club would not incur any costs.

5. Statutory Compliance

Reserves Act 1977 - Public consultation will be required under Section 119 of the Reserves Act 1977.

Following the completion of the statutory one month period of public consultation, a further report will be prepared for Council, in its capacity as the administering body for the reserve, who will hear submissions or objections before making a formal decision on whether or not to extend the lease area.

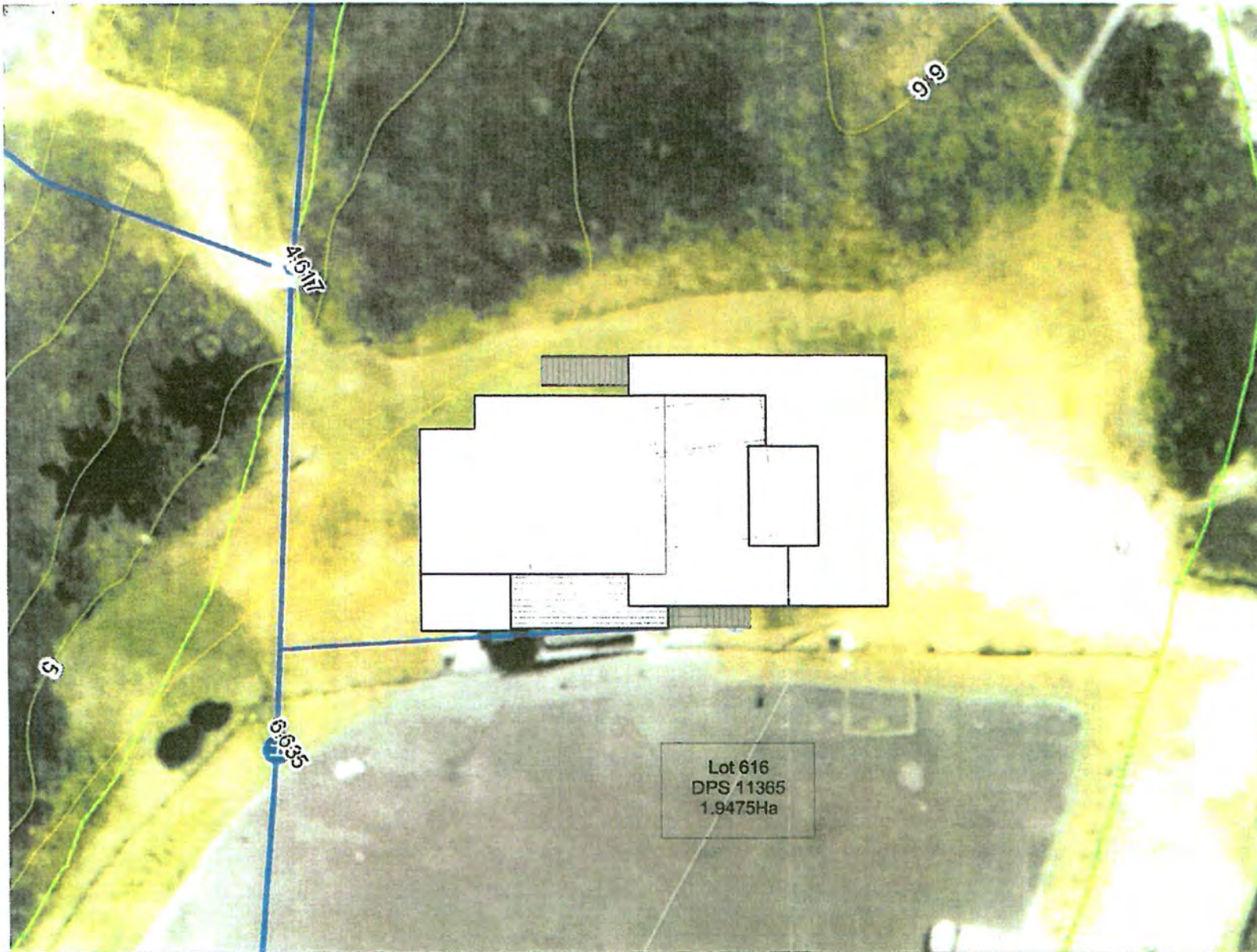
Maketu Ward Reserve Management Plan - The Lease area and Clubrooms already exist and are shown notated on the Dotterel Point Reserve Management Plan. **Attachment B**

Building Act 2004 - A Building Consent will be required for any building work.

A Resource Consent for the proposed facility has already been granted by Western Bay of Plenty District Council.

6. Funding/Budget Implications

Budget Funding Information	Relevant Detail
N/A	<ul style="list-style-type: none"> <li data-bbox="719 1173 1418 1267">• All costs relating to the processing of the proposal are to be borne by the Pukehina Surf Rescue Lifeguard Service. <li data-bbox="719 1323 1418 1482">• If the lease area is extended then prior to the demolition of the current building and the building of the new facility, the Lessee will need to provide evidence of the required funding prior to any work going ahead.



Lot 616
DPS 11365
1.9475Ha

Drawing Notes:

- Do not scale from drawings.
- All drawings + specifications are subject to copyright and remain property of MnM Design Ltd.
- All building work shall be strictly in accordance with NZS3604 2011 & the NZ Building Code & all relevant Standards & Codes.
- All works shall satisfy the requirements of NZBC external moisture E2/AS1.
- These plans shall be read in conjunction with the building specification, bracing calculations, bracing details and manufacturers specifications.
- All amendments & changes to be consulted with the designer or engineer.
- Contractor shall confirm all dimensions, levels, pitches, boundary setbacks, daylighting clearances, service connection locations & levels on site prior to commencing work.
- Consult with plumbing, drainage, electrical, mechanical, etc. before placing footings, slabs, columns, beams & joists.
- All construction systems, products & materials shall be stored, handled & installed strictly to manufacturers specifications & details.
- Timber & wood based products & timber treatments for use in building to comply with NZS3602.
- All framing timber shall be min. SG8 grade unless otherwise specified.
- All glazing shall comply with NZS4223 Code of Practice of glazing in buildings.
- Concrete to be min. of 20MPa grade, unless otherwise stated, ready mixed to NZS3104.
- Concrete construction to NZS3109.
- Reinforcing bars & welded reinforcing mesh to AS/NZS4671.
- Construct floor slab, DPM, reinforcing & sawcuts to NZS3604.
- Concrete surface finishes to NZS3114.
- Masonry construction, materials & workmanship to NZS4210.



Site Information:

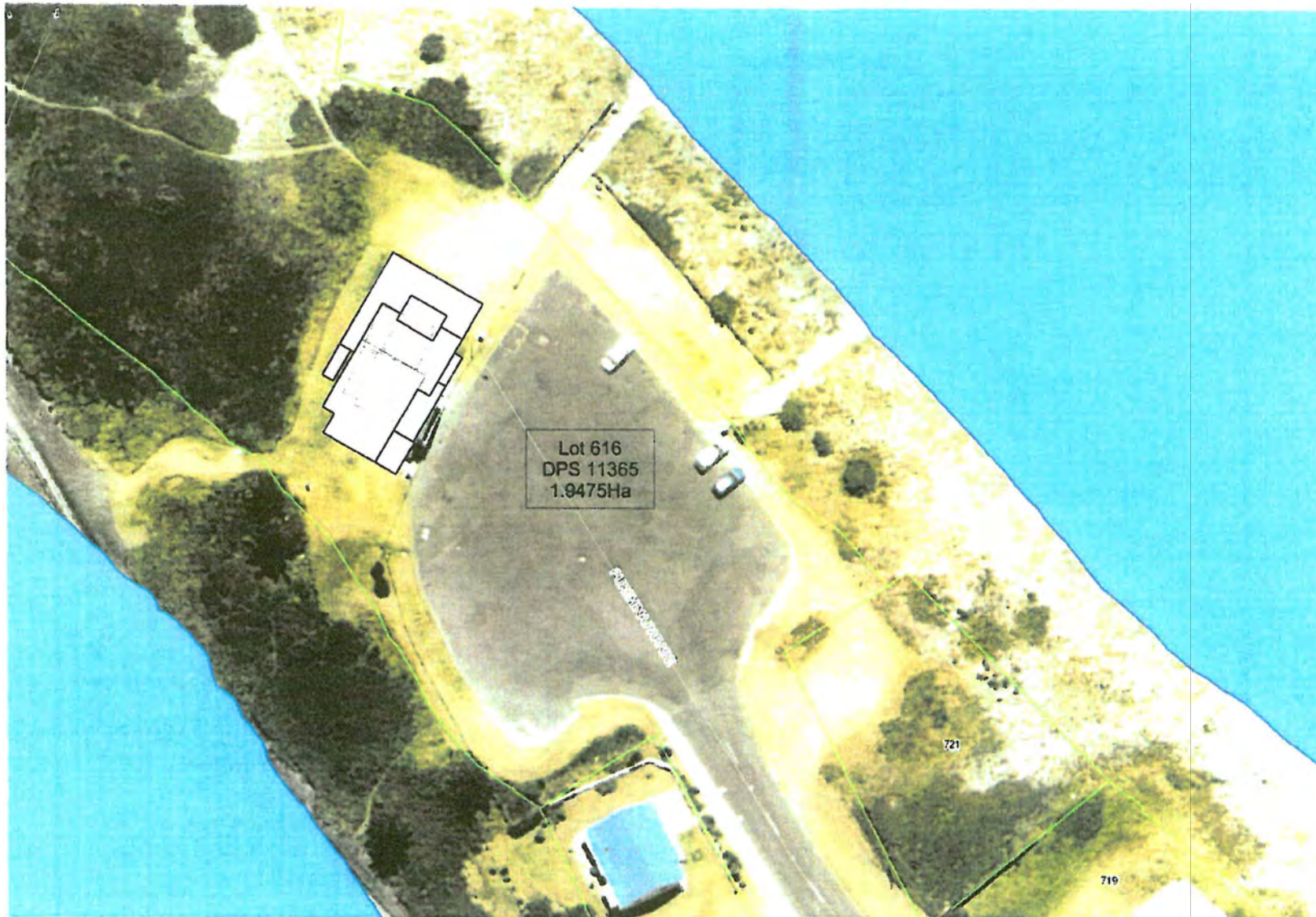
Site area: -	
Ground Floor Total	177.3 m2
Ground Floor Surf Rescue	130.4 m2
Public Toilets:	46.9 m2
Upper Floor:	179.1 m2
Upper Floor Deck area:	103.3 m2

ATTACHMENT A

54

	Designs/Drawings/Impressions by: AID MnM Design Ltd. 123 Boucher Avenue, Te Puke p: 07 573 8176 m: 021 280 1780 e: maunce@mnmdesign.co.nz		Client: Pukehina Surf Rescue Club attn: Andy McDowell p: 07-5333934 m: 027-4419730 e: andywilliamcdowell@icloud.com	Project Name / Address: Pukehina Surf Rescue Pukehina Parade, Pukehina RD9	Sheet title: Site Plan	Project Status: Sketch Design
	Scale: 1 : 200	Project No: 15044	Issue Date: 07.08.15	Sheet no: 01-2		

© All rights reserved by MnM Design Ltd. Crown allowed only, with written approval from MnM Design Ltd. All floor areas and sizes are to be confirmed on A3 printed plans. All images are artist impressions only. 13-Nov-15 12:29:11 PM



Drawings Notes:


- Do not scale from drawings.
- All drawings + specifications are subject to copyright and remain property of MnM Design Ltd.
- All building work shall be strictly in accordance with NZS3604 2011 & the NZ Building Code & all relevant Standards & Codes.
- All works shall satisfy the requirements of NZBC external moisture E2/AS1.
- These plans shall be read in conjunction with the building specification, bracing calculations, bracing details and manufacturers specifications.
- All amendments & changes to be consulted with the designer or engineer.
- Contractor shall confirm all dimensions, levels, pitches, boundary setouts, daylighting clearances, service connection locations & levels on site prior to commencing work.
- Consult with plumbing, drainage, electrical, mechanical, etc. before placing footings, slabs, columns, beams & joists.
- All construction systems, products & materials shall be stored, handled & installed strictly to manufacturers specifications & details.
- Timber & wood based products & timber treatments for use in building to comply with NZS3602.
- All framing timber shall be min. SG8 grade unless otherwise specified.
- All glazing shall comply with NZS4223 Code of Practice of glazing in buildings.
- Concrete to be min. of 20MPa grade, unless otherwise stated, ready mixed to NZS3104.
- Concrete construction to NZS3109.
- Reinforcing bars & welded reinforcing mesh to AS/NZS4671.
- Construct floor slab, DPM, reinforcing & sawcuts to NZS3604.
- Concrete surface finishes to NZS3114.
- Masonry construction, materials & workmanship to NZS4210.



Site Information:

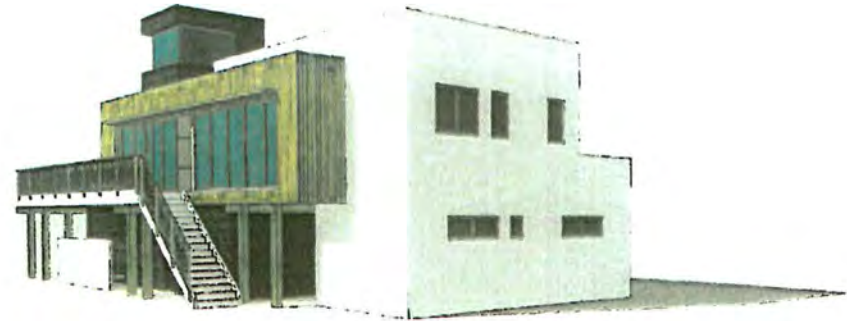
Site area -	
Ground Floor Total:	177.3 m2
Ground Floor Surf Rescue:	130.4 m2
Public Toilets:	46.9 m2
Upper Floor:	179.1 m2
Upper Floor Deck area:	103.3 m2

55

 <p>MnM Design Ltd. 123 Boucher Avenue, Te Puke p: 07 573 8176 m: 021 280 1780 e: maurice@mnmdesign.co.nz</p>	<p>Designs/Drawings/Impressions by: A D</p> <p>NZ ARCHITECTURAL DESIGNERS NZ Member of ADNZ License no. BP109155</p>	<p>Client: Pukehina Surf Rescue Club attn Andy McDowell p: 07-5333934 m: 027-4419730 e: andywilliamcdowell@cloud.com</p>	<p>Project Name / Address: Pukehina Surf Rescue Pukehina Parade, Pukehina RD9</p>	<p>Sheet title: Location Plan</p>	<p>Project Status: Sketch Design</p>
				<p>Scale: 1 : 500</p>	<p>(A3)</p>



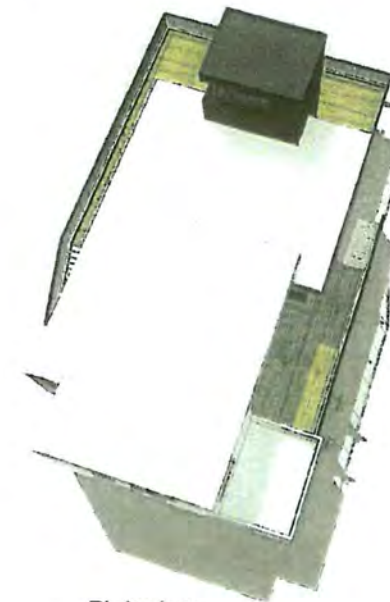
Entry to multi-functional room





Entry to Public toilets



Surf Rescue Club & Watch tower

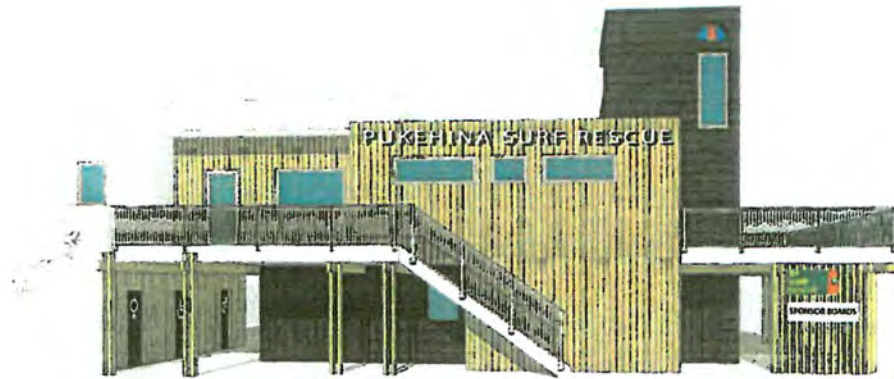


Birds view

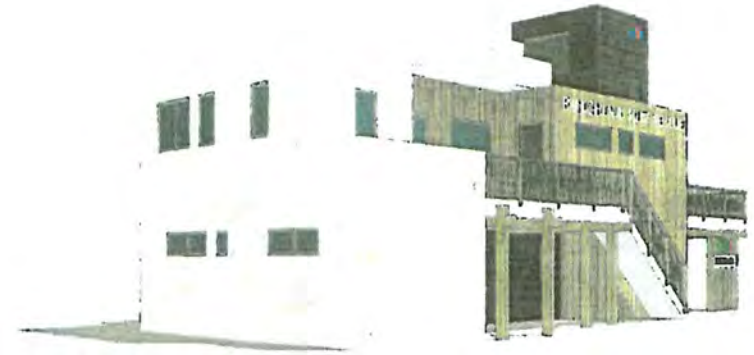
	Designs/Drawings/Impressions by: MnM Design Ltd. 123 Boucher Avenue, Te Puke p: 07 573 8176 m: 021 280 1780 e: maurice@mnmdesign.co.nz	 AID NZ ARCHITECTURAL DESIGNERS NZ Member of ADNZ License no. BP109155	Client: Pukehina Surf Rescue Club a/n Andy McDowell p: 07-5333934 m: 027-4419730 e: andywilliammcdowell@icloud.com	Project Name / Address: Pukehina Surf Rescue Pukehina Parade, Pukehina RD9	Sheet title: Artist Impressions sheet 2	Project Status: Sketch Design Project No: 15044 Issue Date: 07.08.15	Sheet no: 03-2
	Scale: (A3)						

© All rights reserved by MnM Design Ltd. Copies allowed only with written approval from MnM Design Ltd. All other uses, and forms are to be confirmed on full printed plans. All images are artist impressions only.

13-Nov-15 12:20:16 PM



Entry from car park



Public toilets and kitchen (above)




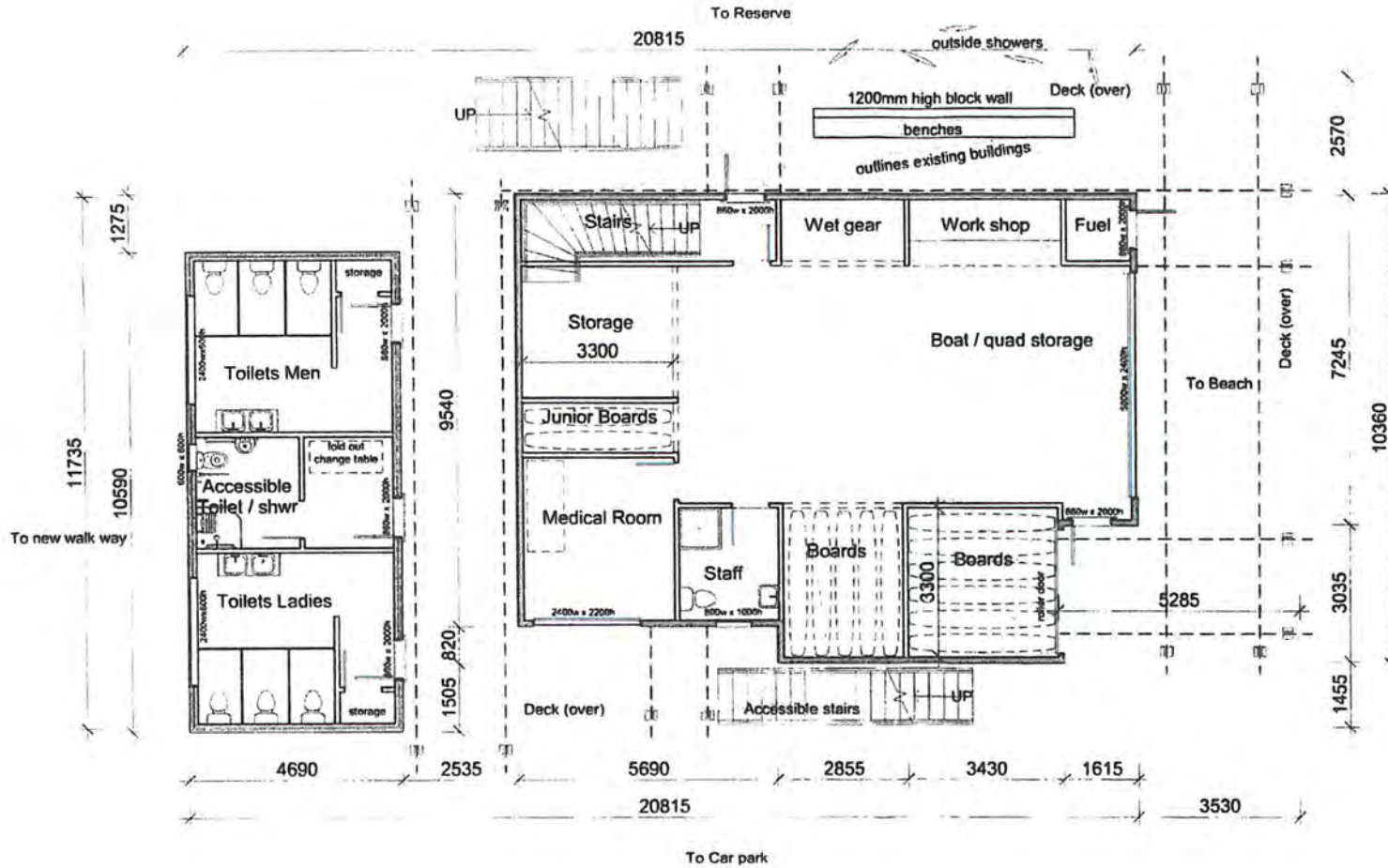
Surf Rescue Club from car park



Surf Rescue Club & Watch tower

57

 <p>MnM design Ltd. 123 Boucher Avenue, Te Puke p: 07 573 8176 m: 021 280 1780 e: maurence@mnmdesign.co.nz</p>	<p>Designs/Drawings/Impressions by: AD NZ ARCHITECTURAL DESIGNERS NZ Member of ADNZ Licence No: BP109155</p>	<p>Client Pukehina Surf Rescue Club attn Andy McDowell p: 07-5333934 m: 027-4419730 e: andywilliammcdowell@icloud.com</p>	<p>Project Name / Address: Pukehina Surf Rescue Pukehina Parade, Pukehina RD9</p>	<p>Sheet title Artist Impressions sheet 1</p>	<p>Project Status: Sketch Design</p>	<p>Project No 15044</p>	<p>Issue Date: (A3) 07.08.15</p>	<p>Sheet no 03-1</p>
				<p><small>© All rights reserved by MnM Design Ltd. Copies allowed only with written approval from MnM Design Ltd. All floor areas and levels are to be confirmed on full permit plans. All images are 3D artist impressions only.</small></p>				<p>Scale</p>



Drawing Notes:

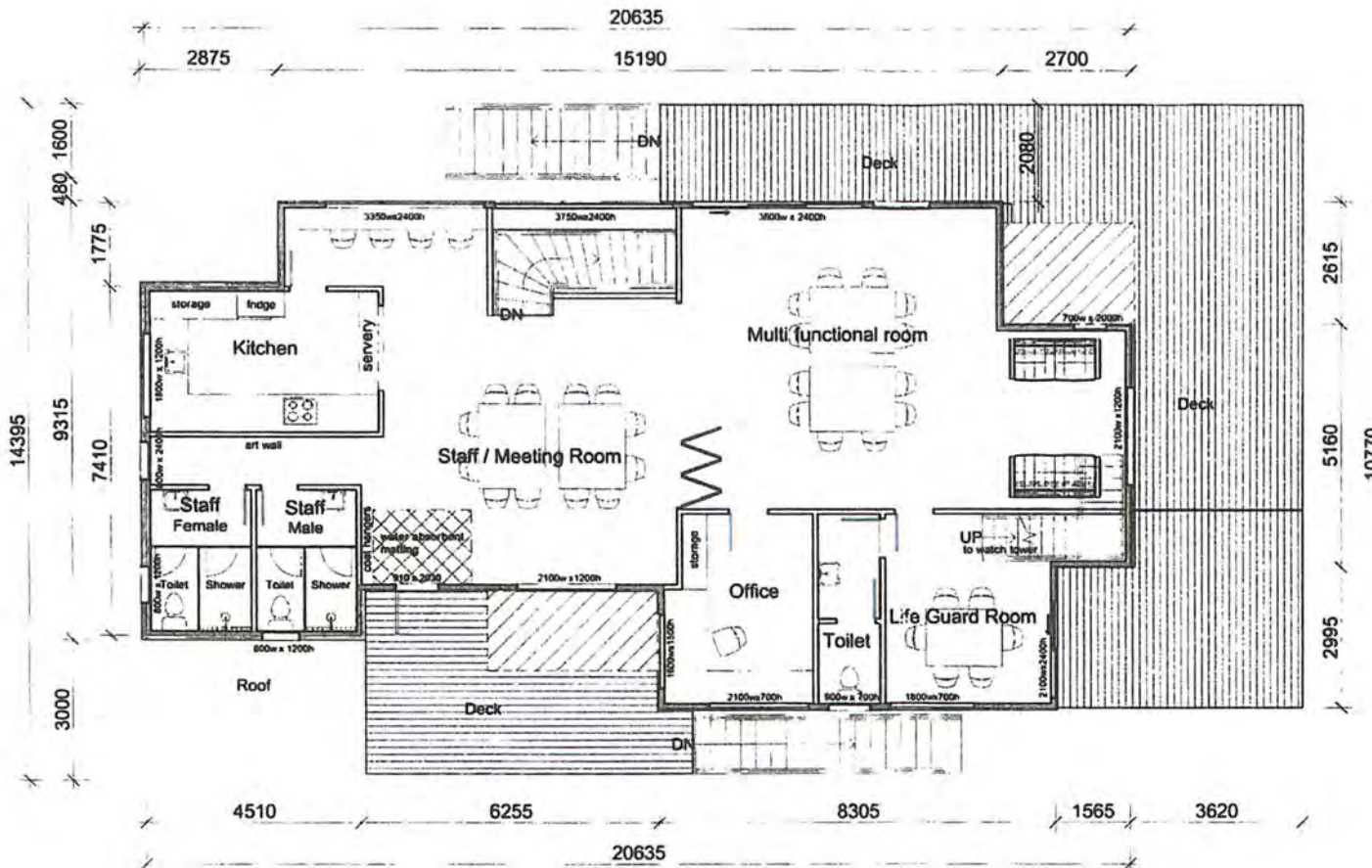
- Do not scale from drawings.
- All drawings + specifications are subject to copyright and remain property of MnM Design Ltd.
- All building work shall be strictly in accordance with NZS3604 2011 & the NZ Building Code & all relevant Standards & Codes.
- All works shall satisfy the requirements of NZBC external moisture E2/AS1.
- These plans shall be read in conjunction with the building specification, bracing calculations, bracing details and manufacturers specifications.
- All amendments & changes to be consulted with the designer or engineer.
- Contractor shall confirm all dimensions, levels, pitches, boundary setbacks, daylighting clearances, service connection locations & levels on site prior to commencing work.
- Consult with plumbing, drainage, electrical, mechanical, etc. before placing footings, slabs, columns, beams & joists.
- All construction systems, products & materials shall be stored, handled & installed strictly to manufacturers specifications & details.
- Timber & wood based products & timber treatments for use in building to comply with NZS3602.
- All framing timber shall be min. SG8 grade unless otherwise specified.
- All glazing shall comply with NZS4223 Code of Practice of glazing in buildings.
- Concrete to be min. of 20MPa grade, unless otherwise stated, ready mixed to NZS3104.
- Concrete construction to NZS3109.
- Reinforcing bars & welded reinforcing mesh to AS/NZS4671.
- Construct floor slab, DPM, reinforcing & sawcuts to NZS3604.
- Concrete surface finishes to NZS3114.
- Masonry construction, materials & workmanship to NZS4210.

Site Information:

Site area:	-
Ground Floor Total:	177.3 m ²
Ground Floor Surf Rescue:	130.4 m ²
Public Toilets:	46.9 m ²
Upper Floor:	179.1 m ²
Upper Floor Deck area:	103.3 m ²

58

<p>MnM design Ltd. 123 Boucher Avenue, Te Puke p: 07 573 8176 m: 021 280 1780 e: msaurice@mnmdesign.co.nz</p>	<p>Designs/Drawings/Impressions by: AD</p> <p>NZ</p> <p>ARCHITECTURAL DESIGNERS NZ</p> <p>Member of ADNZ Licence no. BP109155</p>	<p>Client:</p> <p>Pukehina Surf Rescue Club attn Andy McDowell p: 07-5333934 m: 027-4419730 e: andywilliamcdowell@cloud.com</p>	<p>Project Name / Address:</p> <p>Pukehina Surf Rescue Pukehina Parade, Pukehina RD9</p>	<p>Sheet title:</p> <p>Ground Floor Plan</p>	<p>Project Status:</p> <p>Sketch Design</p>	<p>Sheet no.:</p> <p>02-1</p>
				<p>Scale:</p> <p>1 : 100</p>	<p>Project No:</p> <p>15044</p>	



Drawing Notes:

- Do not scale from drawings.
- All drawings + specifications are subject to copyright and remain property of Mm Design Ltd.
- All building work shall be strictly in accordance with NZS3604 2011 & the NZ Building Code & all relevant Standards & Codes.
- All works shall satisfy the requirements of NZBC external moisture E2/AS1.
- These plans shall be read in conjunction with the building specification, tracing calculations, bracing details and manufacturers specifications.
- All amendments & changes to be consulted with the designer or engineer.
- Contractor shall confirm all dimensions, levels, pitches, boundary setbacks, daylighting clearances, service connection locations & levels on site prior to commencing work.
- Consult with plumbing, drainage, electrical, mechanical etc before placing footings, slabs, columns, beams & joists.
- All construction systems, products & materials shall be stored, handled & installed strictly to manufacturers specifications & details.
- Timber & wood based products & timber treatments for use in building to comply with NZS3602.
- All framing timber shall be min. SG8 grade unless otherwise specified.
- All glazing shall comply with NZS4223 Code of Practice of glazing in buildings.
- Concrete to be min. of 20MPa grade, unless otherwise stated, ready mixed to NZS3104.
- Concrete construction to NZS3109.
- Reinforcing bars & welded reinforcing mesh to AS/NZS4671.
- Construct floor slab, DPM, reinforcing & sawcuts to NZS3604.
- Concrete surface finishes to NZS3114.
- Masonry construction, materials & workmanship to NZS4210.

Site Information:

Site area -	177.3 m2
Ground Floor Total:	130.4 m2
Ground Floor Surf Rescue:	46.9 m2
Public Toilets:	179.1 m2
Upper Floor:	103.3 m2
Upper Floor Deck area:	

59



Designs/Drawings/Impressions by: **AID**
Mm Design Ltd.
 123 Boucher Avenue, Te Puke
 p: 07 573 8176
 m: 021 280 1780
 e: maurence@mmdesign.co.nz



Client:
Pukehina Surf Rescue Club
 attn Andy McDowell
 p: 07-5333934
 m: 027-4419730
 e: andywilliamcdowell@icloud.com

Project Name / Address:
Pukehina Surf Rescue
 Pukehina Parade, Pukehina
 RD9

Sheet title:
Upper Floor Plan

Scale:
 1 : 100

Project Status:
Sketch Design

Project No:
 15044

Issue Date:
 (A3) 07.08.15

Sheet no:

02-2



5.4 Dotterel Point Reserve, Pukehina Beach

Location	Pukehina Parade, Pukehina	Current Inventory	
Reserve Classification:	Recreation Reserve		
District Plan Zone	Rural	Car park	Medium
ID	256	Toilet	Medium
Area	1.9475 Ha	Picnic tables	
Current State	Sand dunes. Surf Rescue/Beach Watch/WC Building	Bins	3
Overview	Maintain; Pukehina Surf Rescue lease part of reserve.	Walkway	Basic
Grass Mowing Standard	(.1600 Ha) Type D – Should not exceed 90mm grass height. Typically 20 – 30 cuts per year.	Lifeguard building	
Toilet Cleaning	Summer: every 2 days, Winter: 2 x per week		

Background:

- Department of Conservation (DoC) Marginal Strip surrounds the reserve.
- Management of the reserve acknowledges the Marginal Strip.
- Reserve provides a habitat and nesting area for the rare Dotterel birds.

Reserve Issues:

- Weed control, self seeding pines and inappropriate planting, including Norfolk Pines.
- Management of sand dunes and the lack of integration between the Coast care areas and reserve facilities.

Reserve Management Policy:

- 5.4.1 Dog Control Bylaw 2011 prohibits dogs on the Pukehina Spit (Dotterel Point Reserve) all year round (Refer to Bylaw details in Appendices).
- 5.4.2 Work with Coast care program (BOP RC) to install information signs around the reserve.
- 5.4.3 Install bollard and rope fences along access ways to beach.
- 5.4.4 Continue to work with the Department of Conservation for the integrative management of Dotterel Point Reserve and the surrounding marginal strip.
- 5.4.5 Generic objectives for Recreation Reserves and generic policies apply.
- 5.4.6 Freedom camping is permitted within the formed car park area subject to the Bylaw restrictions (Refer to Bylaw in Appendices).

2012/22 LTP Approved Actions	Action Cost Estimate	Preferred Timing	Project No
Capital Landscape Development	16,361	2015/16	260511

Western Bay of Plenty District Council
Operations & Monitoring Committee
Infrastructure Services Briefing August 2018

Purpose

To monitor and provide updates to the Operations & Monitoring Committee on current projects, contracts and works programmes.

Recommendation

- 1. THAT the Deputy Chief Executive's report dated 18 July 2018 and titled Infrastructure Services Briefing August 2018 be received.*
- 2. THAT the Open Section of the Operations & Monitoring Committee Information Pack No. OP13 dated 2 August 2018 be received.*
- 3. THAT the report relates to an issue that is considered to be of low significance in terms of Council's Significance and Engagement Policy.*



Gary Allis
Deputy Chief Executive Officer

1. Utilities

1.1 Te Puke Wastewater Treatment Plant Resource Consent Renewal

The application to renew the Discharge Consent for the Te Puke Wastewater Treatment Plant has been lodged with the Bay of Plenty Regional Council. The application seeks a 35-year term. Timeframes for notification of the Consent application and hearings have not yet been set by Regional Council. Due to large workloads at Regional Council, there may be some delays in the processing of the Consent application. However, because the Consent was lodged 6 months prior to its expiry, Council can continue to operate the treatment plant under the current Consent, until the Consent application process is complete.

The draft Consent conditions submitted with the Consent requires Council to look at alternative options for the long term discharge of the treated wastewater from the Te Puke Wastewater Treatment Plant. A working group has been formed, which includes Tangata Whenua, Councillors and Community Board representatives. The group has identified forestry land that may be suitable for discharge. During the month on June, the working group met and prepared a 18 month program to review all discharge options, with respect to discharge from Te Puke Plant. In July will be discussing the order of options, ranking each discharge option against a set criteria.

1.2 Muttons Water Treatment Plant

Improvements to treatment plant including pressure sustaining valve to raw water supply pipeline commenced in July 2018 for completion late August.

1.3 Dudley Vercoe Drive, Te Puke

A new pump station is to be constructed to boost water supply to the upper urban area of Te Puke including new developing areas of Boucher Avenue and No 2 Road. Construction commenced in June with completion due late August.

1.4 Maketu Stormwater Catchment Areas

The maintenance round has been completed. The next maintenance round is due to start mid August with inspections.

1.5 Ongare Point Wastewater Scheme Preliminary Investigations

Currently a Septic Tank Effluent Pump (STEP) wastewater system is proposed for the Ongare Point community. Resource Consents have been granted by the Bay of Plenty Regional Council and Western Bay of Plenty District Council for the construction of the treatment plant, reticulation and treatment plant discharge.

Approximately one third of the tanks have been installed in private property. The Treatment Plant is nearing completion with all tanks and drip line in place. Services such as power, water, telecom and fencing will be undertaken during the next month. Project all on track.

1.6 Katikati Wastewater Treatment Plant Resource Consent Renewal

In May 2016, Council lodged an application with the Regional Council to renew the Consent for discharge of treated wastewater for a 20-year term. Staff have received draft Consent conditions for review and met with Bay of Plenty Regional Council in May to finalise the conditions.

The draft Consent conditions submitted with the application requires Council to look at alternative options for the long-term discharge of the treated wastewater from the Katikati Wastewater Treatment Plant.

A working group has been formed that includes Tangata Whenua, Councillors and Community Board representatives. The group has been meeting on a regular basis to assess the various options available. Meetings held to date have discussed beneficial reuse of wastewater and were productive. Potential sites have been narrowed down for the beneficial reuse option and these sites are currently being investigated further by technical consultants. A number of site visits were undertaken on 11 and 12 July. The site visits looked at a number of wastewater treatment plants that use land disposal options for treated discharge.

1.7 Comprehensive Stormwater Consents – Central Zone

There has been no change to this update as staff are still waiting on feedback from Regional Council. The Comprehensive Stormwater Consent (CSC) for the Central Zone (including Te Puna and Minden) has been lodged with Regional Council. The central CSC excludes Omokoroa as a CSC was obtained for Omokoroa in 2007. No feedback has been received from Bay of Plenty Regional Council at this stage.

1.8 Two Mile Creek Update - Upstream Dillon Street Bridge

Regional Council Consent was lodged in June 2017. Two parties did not sign in favour of applying for Resource Consent.

Regional Council requested further information be supplied by WBOPDC including modelling of the effects of the new channel on the 100-year flood and environmental and ecological issues with the new concrete channel. These assessments are now complete and final information has been provided to BOPRC. Feedback received from the BOPRC and draft Consent conditions have been finalised. The Resource Consent is expected to be granted by late July to mid August 2018.

Due to the creek being located in a floodable zone, a separate Resource Consent is required from WBOPDC. The Consent has been lodged and Council staff have been working with two property owners regarding submissions. One submission has been resolved, the other one is still in negotiation.

1.9 Home Worm Composting Workshops

Dates for 2018 are now available on the website at:

<http://www.westernbay.govt.nz/our-services/rubbish-recycling-waste/Pages/Worm-Composting.aspx>

All bookings are now made through www.eventfinda.co.nz

1.10 Water Meter Installation Project – WSZ (Western Supply Zone)

The installation of water meters in the Waihi Beach, Pio Shores, Athenree and Katikati townships are now complete except for a few properties where their internal lines are cross connected with neighbouring properties. These will be completed in the near future.

Council would like to thank residents for their assistance throughout this project.

1.11 Katikati Recycling Centre

The Katikati Recycling centre will continue with the extended opening hours on Thursday afternoons for the next three months. Vehicle numbers during the survey period confirmed that the community appreciated the additional time available. Vehicles using the centre from 9am to 12noon averaged 230 and from 12noon to 4pm numbered about 125 vehicles.

Centre staff are also supportive of the extended hours, as it removes the pressure from the morning and results in a safer, less stressful environment for everyone.

The new hours will continue for another three months pending a report to Council on the benefits and cost.

1.12 Minden Road

A new trunk water main is to be installed between Minden Reservoir and Florence Lane. Work commenced in late July with completion in September 2018.

1.13 Licensing Waste Collectors - Waste Management and Minimisation Bylaw 2013

Letters have been sent to known waste collectors to apply and pay to operate as a licenced waste collector in the District as per the requirements of the Waste Management and Minimisation Bylaw 2013.

A Public Notice to Licence appeared in the District newspapers during May 2018. Information to this effect was also placed on Council's website on 16 May 2018.

Applications are being processed and licences will be issued during July 2018.

2. Reserves

2.1 Kauri Point Jetty – Walkway Re-Decking

Given the likely permanent road closure due to the landslip, pricing is now being sought to complete the jetty walkway re-decking. It is expected that the cost will increase significantly due to material and equipment access is only available via the water (or air, barge, or helicopter required).

2.2 Omokoroa Sportsground Playground

Tenders for the supply of playground equipment closed on Friday, 19 May and were evaluated by the Project Team the following week. It is expected the project will be split into two separate stages so that external funding can be obtained, in which case the project may extend into 2018/19.

Play equipment options have been shortlisted. Once pricing has been confirmed, orders will be placed and installation will be underway subject to delivery timing.

2.3 Omokoroa to Tauranga Cycleway

Section 1: This section has now been completed (new boardwalk).

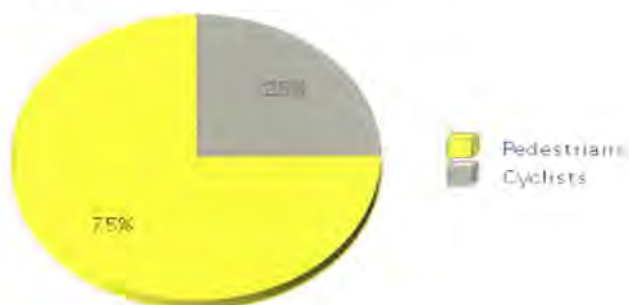
Omokoroa Walkway / Cycleway User Statistics as follows:

Period 26 June 2017 to 26 June 2018.

	Total Traffic for the Analysed Period	Daily Average	Busiest Day of the Week	Busiest Month of the Year	Distribution	
					IN	OUT
Pedestrians	40,654	111	Sunday	December 17: 5,748	58	42
Cyclists	13,404	37	Sunday	January 18: 1,691	49	51

IN: Towards Omokoroa Beach

OUT: Towards Tauranga



Section 3: Lynley Park to railway - The archaeological authority application is on hold pending further information required by Heritage New Zealand.

Section 4: Tamihana Park to Kiwirail Bridge – no change to previous update. License to occupy application paperwork has been concluded including license fees. Final construction surfacing for this section will begin once permit to enter authorisation has been received. The completion of this section will be coordinated with the Plummers Point section to Huharua Park so that a route destination is enabled.

Section 5: Bridge across Mangawhai inlet - construction is completed. NOTE: The track will remain closed until the cycleway connection with Huharua Park is in place.

Section 6: Plummers Point trail from bridge to Huarua Park. Detailed design has been completed and construction will begin as soon as archaeological authority and resource consent has been obtained.

NOTE: The commuter route section proposed to connect between Bridge1 and Plummers Point Road is not being constructed until funding is confirmed and public access enabled (legalisation process also required).

2.4 Omokoroa Ferry to Opureora/Matakana Island – Facilities Upgrade

The construction of a new weather shelter and seating for installation has been completed.

Opureora Jetty Renewal: No change to the previous update. The final concept design has been endorsed by the Matakana Community and a report is being prepared for Council adoption. Construction is scheduled for the next financial year subject to the normal tendering and approvals process.

2.5 Waihi Beach Cycleways

The outcome from the Reserves Management Plan consultation will inform the Plom Road through to Anzac Bay cycleway connections.

Detailed planning and contract specifications are being finalised and physical works will begin as soon as contractor resources are in place.

2.6 Haiku Park to Henry Road Cycleway/Walkway

An information sign design concept prepared by a local Katikati artist has taken some time for staff to review design layout and streamline written content (the researched history included too much content for one sign board). Staff review has now been completed and sent back to the artist for reformatting into a revised design. The revised design will be submitted to the Katikati Community Board for feedback.

2.7 Dotterel Point Reserve – Public Toilet Septic Tank Upgrade

The system is operational and the data logging in place is helping to ascertain the extent of any further system capacity improvements, given the frequency of discharge beyond the consented limit. This issue is being consulted with BOPRC to confirm a solution before any system modifications/improvements are implemented. If any improvements are confirmed, they will be implemented before Christmas 2018.

Monitoring of the system remains ongoing and is likely to remain this way until the Surf Club begin construction of their new facilities. The timing of the new facilities is subject to their funding being secured.

2.8 Damaged Walkway Reserve Land - Ruamoana Place to Bramley Drive

As at 19 July 2018: Remediation works have been split into a series of smaller contracts.

The Earthworks are now complete at a cost of less than 10% of the original tender.

A team of three contractors and a consultant have been signed up and are ready to started work on the drainage on 23 July.

The team members are:

Tonkin and Taylor

Bay Ground Control – Directional Drillers

Banks Contractors – Chimney drains

Fotheringham Contractors – Construction site overview, finishing works, and final restoration.

In order to stay within budget, the design has been modified to deliver approximately 13 directionally drilled drains, each with its own outlet. Most drains will be installed in the slip area, in and around properties Nos 23-25. However, if the methodology proves to be more successful than expected, installation of additional drains will be considered.

Revegetation

Hydroseed was successfully completed, with only minor damage caused by heavy rain and a good strike of grass. Vetiver grass has been ordered for the top edge in lieu of permanent fencing. Fencing will be temporary until the vetiver is established.

Owners along the reserve frontage are being kept informed.

2.9 Omokoroa Slips

Complex and frustrating issues remain for affected home owners and may not be resolved unless there is a change of view from the insurance companies.

Lawyers for the home owners are now involved.

Council has been approached by the owner of No. 69 Omokoroa Road seeking a repair to a major slip on the seaward side of his property. As the proposed design of a retaining wall needed to support the private property would encroach on the walkway and a public reserve, the design has been deemed unacceptable. A redesign has been recommended.

3. Strategic Property

3.1 Katikati Library

The project completion date of 3 July 2018 has been extended by a further two weeks, but is expected to be completed on budget and within this timeframe.

3.2 Te Puna Hall

Options for the relocation of the Hall on to the McIntyre land are being pursued by the NZTA agents in consultation with the Hall Committee and Council staff.

It is understood a site on the McIntyre land has been confirmed and negotiations are underway for the purchase of that site.

3.3 Kaimai Views – Sales Update

Work on the construction of houses is continuing.

The developer is still unable to gain access off Omokoroa Road, which is causing delays in their ability to complete the supply of services to the houses.

3.4 Omokoroa Cell Phone Tower

Work on the construction of the cell phone tower is ongoing. It is understood that the cell tower should be operational by the end of July or early August.

3.5 Te Puke War Memorial Hall

The work on the earthquake strengthening of the Hall is complete. However, the final account for this work is in dispute and being worked through.

4. Development Engineering and Projects

4.1 Te Puke Highways - Pah Road Slip Reinstatement

Resource Consent has been granted for this project and Opus has been engaged to seek prices from suitable contractors to complete the project prior to December 2018.

4.2 Omokoroa Industrial Road - Stormwater Detention Pond – Investigation, Design & Construction

The Contract for the engagement of the professional services relating to the investigation, design and management of the construction of the 420m industrial road and the adjacent stormwater detention pond closed on 21 July 2018. It is currently being evaluated by the Council's Tender Evaluation team members.

5. Emergency Management

5.1 Update

Nothing of significance to report this month. Emergency Management are in the process of compiling their Annual Report and will include an annual summary for the next meeting.

6. Roding

6.1 Omokoroa Road Construction - State Highway to Railway

The Omokoroa Road upgrade has been an exceptionally complex project due to weather delays, shortage of construction crews, roundabout and intersection builds, adjoining developer requests and the construction of multiple underground services with different utility authority ownership.

However, most of the road's new pavement is expected to be completed in June 2018. The \$12.9 million project, with the physical works beginning early in 2017, also hit setbacks with the discovery of multiple archaeological sites and removal of redundant asbestos water main pipes requiring specialist handling and disposal.

Underground services installed during the construction have included new water mains, a new gravity sewer main, a new storm water main, new road culverts, communications and power cables, Ultrafast broadband fibre optic cabling and the relocation of sections of the Omokoroa sewer transfer main.

Works will continue until September 2018 on installing the storm water main connection into the Kaimai Views Special Housing Area; development of the park-n-ride near the Prole Road intersection; construction of a cycleway from SH2 to the fire station and installation of an additional sewer main to the wastewater transfer station.

The new storm water line has been installed.

The road construction and underground water main, power and communication services continue to be delayed due to ongoing inclement weather.

6.2 Maketu Proposed Cycle Trail

Progress on the proposed cycle trail remains on hold as staff are awaiting land purchase negotiations with Te Arawa Trust and Councillor Marsh.

6.3 Omokoroa Footpath Repairs

Beach Grove footpath now complete.

6.4 Community Roding Katikati

Fairview Road kerb and channelling programmed to be completed prior to end of July 2018.

Stewart Street design complete and approved by Community Board. Added to WestLink's Programme of Works, however, the start date has yet to be confirmed.

6.5 Katikati Town Centre Improvement

Fairview Road kerb and channelling is programmed to be completed prior to end of July 2018.

Stewart Street design complete and approved by the Katikati Community Board. Added to WestLink's Programme of Works, however the start date has yet to be confirmed.

6.6 One Network Maintenance Contract (ONMC)

Refer to OP13 Information Pack.

Attachment A